



BOARD OF SUPERVISORS

PO Box 944, Newton, IA Phone: 641-792-7016 Fax: 641-792-1053

Denny Stevenson

Doug Cupples

Brandon Talsma

August 27, 2024

9:30 a.m.

www.jasperia.org

Live Stream: <https://zoom.us/j/8123744948>

Meeting ID: 812 374 4948

Dial In: +1-646-931-3860

-Anyone that has an item on the agenda must appear in person for the Board to consider it.-

Pledge of Allegiance

Item 1 General Assistance – Connie McQuiston

- a) Memorandum of Understanding between Polk County and Jasper County for Supplemental Food Program Services

Item 2 Veteran Affairs Commission

- a) Filling Commission Vacancy

Item 3 Human Resources – Dennis Simon

- a) Hiring Resolution for the Sheriff's Office for a Full-Time Jailer – Anthony Shepard & for a Part-Time Jailer - Brianna Kotowski
- b) Resolution Approving the Request from the Jasper County Sheriff's Office to Create 2 Permanent Part-Time Positions of Advanced Life Support (ALS)/Basic Life Support (BLS) Technicians

Item 4 Board of Health subcontract for Private Well Grant FY25 with Community Development. Previously approved on 5/14/2024

Item 5 Engineer – Mike Frietsch

- a) Purchase of Temporary Construction Easement for Public Highway on Parcel No. 16.05.100.007
- b) Bid Tabs Awarding the Contract for Project (50-C050-146) to Denco
- c) Bid Tabs Awarding the Contract for Project (50-C050-147) to Denco

Item 6 Approval of Subdivision Plat Names

- a) Arbor Estates Second Addition
- b) Prairie View Subdivision

Item 7 Approval of Claims Paid through August 27, 2024

Continue to Page 2



BOARD OF SUPERVISORS

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Page 2

Item 8 Approval of Board of Supervisors Minutes for August 20, 2024

Item 9 Board Appointments

PUBLIC INPUT & COMMENTS

Closed Session Requested by Ryan Eaton in Accordance with Iowa Code Section 22.7(50)

to discuss Information and records concerning physical infrastructure, cyber security, critical infrastructure, security procedures, or emergency preparedness developed, maintained, or held by a government body for the protection of life or property, if disclosure could reasonably be expected to jeopardize such life or property.

After the Regular Meeting:
Work Session

MEMORANDUM OF UNDERSTANDING (MOU)
BETWEEN
POLK COUNTY AND JASPER COUNTY
FOR SUPPLEMENTAL FOOD PROGRAM SERVICES

1. **PARTIES.** Polk County, Iowa (hereinafter “Polk County”) and Jasper County, Iowa (hereinafter “Jasper County”) are governmental subdivisions organized and existing under the laws of the State of Iowa. Polk County and Jasper County are memorializing their cooperative agreement to have Polk County provide Commodity Supplemental Food Program (hereinafter “CSFP”) services to eligible Jasper County residents.
2. **PURPOSE.** This MOU describes the services to be provided pursuant to the Code of Federal Regulations 7 C.F.R. §247 and 7 C.F.R. §250. The purpose of the MOU is to provide commodity food to as many persons as are eligible up to 200.
3. **TERM.** This MOU shall commence on October 1, 2024 and shall expire on September 30, 2027, unless earlier terminated as set forth in this MOU.
4. **ELIGIBILITY.** Services shall be provided to program participants. “Participants” are defined as low-income senior citizens aged 60 and older.
5. **ADMINISTRATION.** This MOU shall be administered by the Polk County Department of Community, Family and Youth Services’ Supplemental Foods Program Administrator in accordance with the Iowa Department of Health and Human Services and the United States Department of Agriculture contract regulations. No new legal or administrative entity is created by this MOU.
6. **SERVICES.** Food packages shall be delivered to Jasper County for distribution to Participants. Up to 200 Jasper County Participants may obtain food packets in any month.
7. **RESPONSIBILITIES OF POLK COUNTY.**
 - a. Polk County shall coordinate the recruitment, enrollment and orientation of participants pursuant to 7 C.F.R. §247.
 - b. Polk County shall order, handle and warehouse all food items in compliance with 7 C.F.R. §247 and other state and federal regulations.
 - c. Polk County shall provide all personnel, supplies and equipment needed to ensure delivery of the services under this MOU and pursuant to 7 C.F.R. §247.
 - d. Polk County shall complete and submit all reports and documents as required in 7 C.F.R. §247.
 - e. Polk County shall maintain accurate and complete records for a period of three years from the close of the fiscal year to which they pertain, or longer if the records are related to unresolved claims actions, audits, or investigations.
 - f. Polk County is responsible for any loss resulting from improper distribution, or improper storage, care, or handling of commodities while such commodities are in the possession of Polk County.
 - g. Should Polk County directly receive program funds from the U.S. Department of Agriculture for the CSFP, Polk County is responsible for any misuse of the program funds distributed to Polk County.
8. **RESPONSIBILITIES OF JASPER COUNTY.**
 - a. Jasper County shall provide all necessary information to Polk County CSFP staff for the operation of the Supplemental Food Program and determination of eligibility.

b. Jasper County shall compensate Polk County for each food package distributed to Jasper County participants.

c. Jasper County shall designate a liaison to ensure effective implementation of the program and shall make payment to Polk County within 30 days of invoice.

d. Jasper County shall maintain accurate and complete records for a period of three years from the close of the fiscal year to which they pertain, or longer if the records are related to unresolved claims actions, audits, or investigations.

e. Jasper County is responsible for any loss resulting from improper distribution, or improper storage, care, or handling of commodities while such commodities are in the possession of Jasper County.

f. Should Jasper County directly receive program funds from the U.S. Department of Agriculture for the CSFP, Jasper County is responsible for any misuse of the program funds distributed to Jasper County.

9. CONSIDERATION AND PAYMENT. The agreed rate for each distribution is five dollars (\$5.00) per food package. A minimum of five hundred dollars (\$500.00) shall be paid per calendar month regardless of the number of packages actually distributed. In FFY26 and FFY27 the agreed distribution will increase to six dollars (\$6.00) per food package. A minimum of six hundred dollars (\$600.00) shall be paid per calendar month regardless of the number of packages actually distributed.

10. TERMINATION. This MOU may be terminated by the termination or expiration of all commodity supplemental food distribution agreements between Polk County and the State of Iowa or by either Polk County or Jasper County upon not less than sixty (60) days written notice provided to the other county.

11. LIABILITY. Each party's liability shall be governed by Chapter 670 of the Iowa Code.

12. CONFIDENTIALITY. The disclosure of information shall be in accordance with the guidelines set forth in 7 C.F.R. §247 as well as Iowa Code Chapter 22.

13. MISCELLANEOUS.

a. **Entire Agreement.** This MOU constitutes the sole and entire agreement of the parties with respect to the subject matter contained herein and therein and supersedes all prior and contemporaneous understandings, agreements, representations, and warranties, both written and oral, with respect to such subject matter.

b. **Amendments.** This MOU may not be amended, modified, altered, or changed in any respect whatsoever, except by further agreement, in writing, fully executed by each of the Parties.

c. **No Assignment.** Jasper County shall not assign or otherwise transfer this MOU or any rights or obligations therein without first receiving prior written consent of Polk County.

d. **Independent Contract.** Nothing in this MOU creates any agency, joint venture, partnership, or other form of joint enterprise, employment, or fiduciary relationship between the Parties. Jasper County is an independent contractor pursuant to this MOU. Neither Party has any express or implied right or authority to assume or create any obligations on behalf of or in the name of the other Party or to bind the other Party to any contract, agreement, or undertaking with any third party. As an

independent contractor, Jasper County will be solely responsible for providing salary, fringe benefits, workers compensation as applicable, unemployment insurance and malpractice liability insurance coverage. Information obtained within the scope of this MOU belongs to Polk County. Jasper County shall make such disclosures and obtain consents as may be required to act in that capacity.

- e. **Severability.** If any portion of this MOU is held invalid or unenforceable by a court of competent jurisdiction, the remaining portions of this MOU shall continue in full force and effect.
- f. **Choice of Law.** This MOU and all related documents and all matters arising out of or relating to this MOU, whether sounding in contract, tort, or statute are governed by, and construed in accordance with, the laws of the State of Iowa without giving effect to the conflict of laws provisions thereof.
- g. **Choice of Forum.** Neither Party shall commence any action, litigation, or proceeding of any kind whatsoever against the other Party in any way arising from or relating to this MOU, including all exhibits, schedules, attachments and appendices attached to this MOU and thereto, and all contemplated transactions in any forum other than the courts of the State of Iowa sitting in Polk County, and any appellate court thereof. Each Party irrevocably and unconditionally submits to the exclusive jurisdiction of such courts and agrees to bring any such action, litigation, or proceeding only in such courts. A final judgment in any such action, litigation or proceeding is conclusive and may be enforced in other jurisdictions by suit on the judgment or in any other manner provided by Law.
- h. **Waiver.** The failure by one Party to enforce a provision of this MOU shall not constitute a waiver of such Party's right to enforce any future provision of this MOU

14. NOTICES. Notices under this MOU shall be in writing and delivered to the representative of the party to receive notice as it appears below:

If to Polk County:

Director, currently Eric N. Kool
Polk County Community, Family & Youth Services
2309 Euclid Avenue
Des Moines, IA 50309

If to Jasper County:

Director, currently Connie McQuiston
Jasper County General Assistance
315 W. 3rd St. N., Suite 200
Newton, Iowa 50208

IN WITNESS THEREOF, Polk County and Jasper County have caused this MOU to be executed in two (2) counterparts, each of which shall be considered an original.

POLK COUNTY, IOWA

Angela Connolly, Chair Date
Polk County Board of Supervisors

JASPER COUNTY, IOWA

Brandon Talsma, Chair Date
Jasper County Board of Supervisors

Attest:

Jenna Jennings, Auditor

Fiscal Year 25 (7/1/2024-6/30/2025)
Subcontract for Private Well Grant (PWG)
Jasper County Board of Health
and
Jasper County (Environmental Health)

This Agreement is made and entered into by and between Jasper County Board of Health, (hereinafter the Contractor) and Jasper County (Environmental Health), (hereinafter the Subcontractor) to carry out the provisions of the Public Well Grant.

- I. Statement of Purpose
This subcontract is for the Private Well Grants program.

- II. Name and Address of Subcontractor
Jasper County Environmental Health
DBA: Jasper County Community Development
315 W 3rd Street North, Suite 150
Newton, Iowa 50208

- III. Scope of Work to be Performed
Services covered by this application include testing private water wells, reconstructing private water wells, and plugging abandoned private water wells within the jurisdiction of the Jasper County Board of Health. This program promotes health equity by offering all Iowans equal opportunity, regardless of jurisdiction, to ensure access to safe private well water through testing, reconstruction, or plugging of abandoned wells that are no longer used.

- IV. Estimated Dollar Amount
The projected subcontract amount will be \$50,505. This is subject to change and the final amount will be reflected on the contract face sheet. Payment will be sent from the Iowa Department of Health and Human Services to the contractor as claims are filed. The payment will be passed on to the subcontractor from Jasper County.

- V. Subcontractor Qualifications
 1. Project Director – Kevin Luetters, Director of Community Development.
 - a. Role/responsibility: Responsible for the overall project management of Environmental Health. Has authority to manage the resulting contract and the legal responsibility to assure compliance with all contract conditions.
 - b. Extensive experience with well plugging, cistern, abandonment well, and water test collection.
 - c. Employed with Jasper County since 3/1/1999.

- d. BS degree.
 - e. Completed the well plugging certification with Russ Tell of Iowa DNR.
 - f. 12 hours of continuing education every year as approved by the Iowa Environmental Health Association's Environmental Health Registry Program.
2. Qualified Staff – Jamie Elam, Environmental Health Technician
- a. Responsible for conducting water well sampling, providing oversight of well or cistern plugging, providing oversight of well reconstructions, or providing technical assistance.
 - b. High school diploma and previous employment as a septic installer.
 - c. Well Contractor Certification from DNR. Operator ID 12415.
 - d. 12 hours of continuing education every year as approved by the Iowa Environmental Health Association's Environmental Health Registry Program.

VI. Responsibilities of the Contractor

The Contractor will make available to the Subcontractor all documents related to the contract with the Iowa Department of Health and Human Services. This includes but may not be limited to:

- Subsequent contract amendments and modifications
- All budget or work plan revisions
- All IDPH required reports.
- Maintain ongoing communication regarding the grants and keep all local officials and subcontractors appropriately informed.

VII. Responsibilities of the Subcontractor

The Subcontractor agrees to perform the work and to provide the services described in the Special Conditions for consideration stated herein. The duties, rights, and obligations of the parties to this Agreement shall be governed by the contract documents which include the Special Conditions, General Conditions, and Request for Proposal and Application.

The Subcontractor shall provide the Iowa Department of Health and Human Services, the Contractor, and any of their duly authorized representatives with access, for audit and examination, to any documents, paper, and records of the subcontractor pertinent to the subcontract.

The Subcontractor project officer/grantee contact will be responsible for reporting goals achieved for the approved plan and budget for the grant at an annual Jasper County Board of Health meeting.

VIII. Term and Termination

This Agreement shall be effective beginning July 1, 2024, and shall be effective for one year ending on June 30, 2025, unless terminated as provided below. Either party may terminate this Agreement with or without cause upon thirty (30) days advanced written notice prior to the final termination date of the Agreement.

In the event local, state or federal government agencies promulgate regulations which may affect these terms or if adequate funds are not appropriated or available, this Agreement shall be immediately subject to renegotiation upon the initiative of either party.

Upon termination of this agreement, neither party shall have any further obligation under this agreement except for obligations accruing prior to the date of termination and obligations nor covenants contained herein which are expressly made to extend beyond the term of the agreement.

IX. Compliance with Law/Insurance

The subcontractor shall perform the work under this Agreement in full compliance with all applicable laws, rules, and regulations of any kind, which apply to such work. The subcontractor agrees to maintain liability insurance, which provides coverage for the work and services that the subcontractor provides to the contractor under this Subcontractor Agreement.

X. Entire Agreement/Modifications

This contract constitutes the entire agreement between the parties. This contract may only be modified in writing and signed by both parties.

XI. Governing Law

This Agreement shall be governed by the laws of the State of Iowa.

XII. Amendment and Waiver

No change or modification of this Agreement shall be valid unless the same is in writing and signed by each of the parties to be bound.

XIII. Severability

If any portion(s) of this Agreement shall be, for any reason, invalid or unenforceable, the remaining portion(s) shall nevertheless be valid and enforceable and carried into effect unless to do so would violate the present legal intentions of the parties hereto.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed on the above-specified date. The individual signing this Agreement on behalf of the Contractor and Subcontractor represents and warrants that he/she has the right, power, and authority to do so.

CONTRACTOR
Jasper County Board of Health

SUBCONTRACTOR
Jasper County

By: _____

By: _____

Chairperson
Brandon Talsma

Date: _____

Date: _____

Attest: County Auditor
Jenna Jennings

Date

JASPER COUNTY ENGINEER'S OFFICE

910 N 11th Ave E
Newton, Iowa 50208

(641) 792-5862
FAX – (641) 791-7740



Michael J. Frietsch, P.E, FMP
County Engineer
mfrietsch@jasperia.org

August 8, 2024

To: Max E & Colleen B Vanderlune Revocable Trust
12982 S 88th Ave W
Prairie City, IA 50228

Re: W 129th St S and S 96th Ave W Road Surface Improvements

To Whom It May Concern:

The road along the west side (W 129th S) and through (S 96th Ave W) the Neal Smith National Wildlife Refuge are programmed for surface improvements. Surface improvement work also includes reducing road embankment slopes and repairing existing drainage pipes and structures. Given the scope of work the construction limits will temporarily extend beyond the existing right-of-way in various locations. Hence, the need to purchase temporary construction easements. The temporary construction easement being requested by this letter occurs within Parcel No. 1605100007 along W 129th St S. The following are provided with this letter:

1. Temporary Construction Easement Plat
2. Temporary Construction Easement Agreement
3. Compensation Estimate

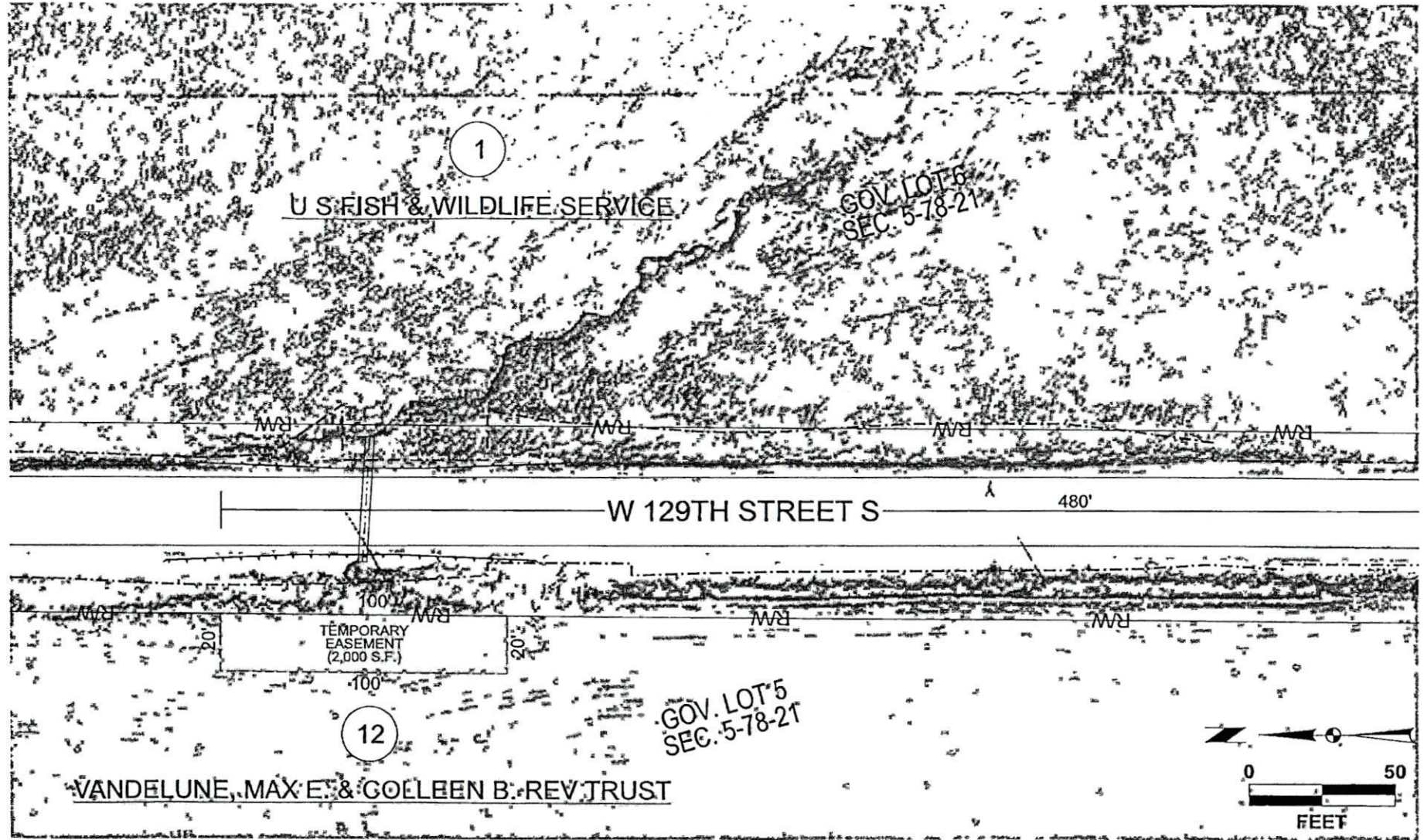
Please review these documents and contact me with any questions or concerns. If these documents are acceptable then have the Temporary Construction Easement Agreement executed as indicated before a notary. Please return the executed documents in the enclosed envelope. Feel free to contact me at 641-521-6018 or email me at mfrietsch@jasperia.org with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael J. Frietsch".

Michael J. Frietsch, P.E., FMP
County Engineer

Attachments



= PROPOSED TEMPORARY EASEMENT
 - - - = PROPOSED EASEMENT LINE

PROJECT NAME - W 129th ST & S 96th AVE W IMPROVEMENTS
 PARCEL 12 - MAX E. & COLLEEN B. VANDERLUNE REVOCABLE TRUST
 PIN - 1605100007



SHEET REFERENCE:
 EASEMENT EXHIBIT

SCALE:
 1" = 50'
 PROJECT #:
 123.0673.01
 DATE:
 JULY 10, 2024

Prepared by and Return to: Jasper County Highway Department, 910 N 11th Ave E, Newton, IA 50208
Temporary Construction Easement for Public Highway
Parcel Identification No. 1605100007

For the consideration of Seven and 50/100 -----(7.50) -----DOLLARS and other valuable consideration in hand paid by Jasper County, Iowa, Max E. & Colleen B. Vanderlune Revocable Trust, of Prairie City, State of Iowa, do hereby grant to Jasper County, Iowa a temporary construction easement for road purposes in, to, on, over and across real estate in Jasper County, Iowa.

THE EASEMENT RIGHT GRANTED IS TO LAND LOCATED WITHIN PARCEL NO. 1605100007 AND DESCRIBED AS FOLLOWS:

TEMPORARY CONSTRUCTION EASEMENT

PARCEL 12

A PART OF THE GOVERNMENT LOT 5 OF SECTION 5, TOWNSHIP 78 NORTH, RANGE 21 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF JASPER COUNTY, IOWA BEING THE NORTH 100 FEET OF THE SOUTH 480 FEET OF SAID GOVERNMENT LOT 5 OF SECTION 5 AND BEING A 20.00 FOOT STRIP OF LAND LYING 20.00 FEET WEST OF THE EXISTING WEST RIGHT-OF-WAY LINE OF W. 129TH STREET S. AND CONTAINING 2,000 S.F.

This easement and transfer is exempt for transfer tax. Iowa Code Sec. 428A.2(17).

This easement is being acquired for public purposes and a Declaration of Value is not required. Iowa Code Sec. 428A.1.

Grantors do hereby covenant with grantees, and successors in interest, that grantors hold the real estate by title in fee simple, that they have good and lawful authority to sell and convey the real estate; that the real estate is free and clear of all liens and encumbrances except as may be above stated; and grantors covenant to warrant and defend the real estate against the lawful claims of all persons except as may be above stated. Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share in and to the easement.


Words and phrases herein, including acknowledgement hereof, shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.

Dated Aug 15, 2024 (SIGN IN INK)

Max Vanderlune Trustee

STATE OF Iowa, COUNTY OF Jasper, ss:

On this 15th day of August, 2024, before me, the undersigned, a Notary Public in and for said state, personally appeared Max Vanderlune to me known to be the identical person named in and who executed the foregoing instrument and acknowledged that they executed the same as their voluntary act and deed.

 Melissa Masterson (Sign in Ink)
Melissa Masterson (Print/Type Name)
Notary Public in and for the State

COMPENSATION ESTIMATE

Parcel ID Number: 1605100007
Project Number: FLAP-C050(133)--6L-50
County: Jasper
Owner(s) of Record: Max E & Colleen B Vanderlune Revocable Trust

Owner's Mailing Address: 12982 S 88th Ave W
Prairie City, IA 50228

Basis for land value estimate: Jasper County Resolution 09-34

Land to be aquired:	Fee Title	0.00 acres @	= \$	-
	Permanent Easement	0.00 acres @	= \$	-
	Temp Construction Easement	0.05 acres @ \$ 150.00	= \$	7.50
	Fence	0.00 rods @	= \$	-

Other considerations:

TOTAL ESTIMATE:

\$ 7.50

Certification:

I hereby certify that I am familiar with the property which is subject of this estimate, that the estimate is based on data contained in the file of the agency, that I have no direct or indirect present or future personal interest in this property or in any benefit from the aquisition of this property.

Signed:



Michael J. Frietsch, P.E., FMP
Jasper County Engineer

Date of Estimate:

7/22/2024

Chairperson: Brandon Talsma

Date

Attest: County Auditor Jenna Jennings

Date



Contracts and Specifications Bureau

08/21/2024 2:18:14 PM

Project(s) and Vendor Ranking

Page 1 of 2

Call Order: 203
Letting Date: August 20, 2024 10:00 A.M.
Letting Status: AWARDED
Contract Period: Start Date: 06/02/25 25 Working Days

Contract ID: 50-C050-146

Primary County: JASPER

DBE Goal: 0.0%

Awarded Vendor: DENCO HIGHWAY CONSTRUCTION CORP.

Project Information:

Project: FM-C050(146)--55-50 WorkType: SEAL COAT
County: JASPER Award Amt: \$105,108.06
Route: F34
Location: On F 34, from Polk County Line E 1.3 miles to Beginning of RCC

CONFIDENTIAL - destroy if NOT awarded

Project(s) and Vendor Ranking

Call Order: 203

Contract ID: 50-C050-146

Primary County: JASPER

Letting Date: August 20, 2024 10:00 A.M.

DBE Goal: 0.0%

Letting Status: AWARDED

Awarded Vendor: DENCO HIGHWAY CONSTRUCTION CORP.

Contract Period: Start Date: 06/02/25 25 Working Days

Rank	Vendor ID	Vendor Name	Total Bid	Percent Of Low Bid
1	DE300	DENCO HIGHWAY CONSTRUCTION CORP.	\$105,108.06	100.00%
2	MI295	MIDWEST COATINGS COMPANY, INC.	\$128,336.29	122.10%
3	MA225	MANATT'S, INC.	\$139,562.45	132.78%

CONFIDENTIAL - destroy if NOT awarded

Call Order: 203
 Letting Date: August 20, 2024

Contract ID: 50-C050-146

Primary County: JASPER

Line No / Item Number		(1) DENCO HIGHWAY CONSTRUCTION CORP.		(2) MIDWEST COATINGS COMPANY, INC.		(3) MANATT'S, INC.	
Item Description							
Alt Set / Alt Member	Quantity and Units	Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount
SECTION: 0001 Roadway Items				Cat Alt Set:		Cat Alt Member:	
0010	2307-0025012 200.000 TON	32.63000	6,526.00	136.51000	27,302.00	125.67000	25,134.00
AGGREGATE, COVER - SAND							
0020	2307-0600456 3,482.000 GAL	3.69000	12,848.58	7.80000	27,159.60	7.70000	26,811.40
BINDER BITUMEN, CRS-2P							
0030	2319-1000000 1.350 MILE	19,375.00000	26,156.25	12,318.00000	17,979.30	5,700.00000	7,695.00
SLURRY LEVELING							
0040	2319-4000000 484.000 GAL	3.15000	1,524.60	8.75000	4,235.00	5.50000	2,662.00
ASPHALT EMULSION FOR SLURRY LEVELING, SLURRY WEDGE, AND SLURRY TREATMENT							
0050	2527-9263217 178.570 STA	74.00000	13,214.18	84.51000	15,091.95	70.00000	12,499.90
PAINTED PAVEMENT MARKINGS, DURABLE							
0060	2528-8445110 (1) LS	2,500.00000	2,500.00	6,000.00000	6,000.00	18,850.00000	18,850.00
TRAFFIC CONTROL							
0070	2528-8445113 10.000 EACH	575.00000	5,750.00	575.00000	5,750.00	575.00000	5,750.00
FLAGGERS							

CONFIDENTIAL - destroy if NOT awarded

Call Order: 203

Contract ID: 50-C050-146

Primary County: JASPER

Letting Date: August 20, 2024

Line No / Item Number				(1) DFNCO HIGHWAY CONSTRUCTION CORP.		(2) MIDWEST COATINGS COMPANY, INC.		(3) MANATT'S, INC.	
Item Description				Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount
Alt Set / Alt Member	Quantity and Units	Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount
SECTION: 0001 Roadway Items						Cat Alt Set:		Cat Alt Member:	
0080	2528-8445115	2.000	EACH	865.00000	1,730.00	865.00000	1,730.00	865.00000	1,730.00
PILOT CARS									
0090	2533-4980005	(1)	LS	10,000.00000	10,000.00	9,000.00000	9,000.00	25,330.00000	25,330.00
MOBILIZATION									
0100	2544-1001100	1.350	MILE	17,625.00000	23,793.75	9,279.91000	12,527.88	8,577.15000	11,579.15
CLEANING AND FILLING CRACKS (PAVEMENT MAINTENANCE)									
0110	2544-1003000	338.000	GAL	3.15000	1,064.70	4.62000	1,561.56	4.50000	1,521.00
FILLER MATERIAL (MAINTENANCE)									
Section Totals:									
				\$105,108.06		\$128,336.29		\$139,562.45	
Contract Item Totals				\$105,108.06		\$128,336.29		\$139,562.45	
Contract Time Totals									
Contract Grand Totals				\$105,108.06		\$128,336.29		\$139,562.45	

() indicates item is bid as Lump Sum

CONFIDENTIAL - destroy if NOT awarded

Project(s) and Vendor Ranking

Call Order: 204	Contract ID: 50-C050-147	Primary County: JASPER
Letting Date: August 20, 2024 10:00 A.M.		DBE Goal: 0.0%
Letting Status: AWARDED	Awarded Vendor: DENCO HIGHWAY CONSTRUCTION CORP.	
Contract Period: Start Date: 06/02/25 30 Working Days		

Project Information:

Project: FM-C050(147)--55-50	WorkType: SEAL COAT
County: JASPER	Prj Awd Amt: \$263,944.47
Route: F70	
Location: On F 70, from Monroe CL W 5.9 miles to S 6 G	

CONFIDENTIAL - destroy if NOT awarded

Project(s) and Vendor Ranking

Call Order: 204

Contract ID: 50-C050-147

Primary County: JASPER

Letting Date: August 20, 2024 10:00 A.M.

DBE Goal: 0.0%

Letting Status: AWARDED

Awarded Vendor: DENCO HIGHWAY CONSTRUCTION CORP.

Contract Period: Start Date: 06/02/25 30 Working Days

Rank	Vendor ID	Vendor Name	Total Bid	Percent Of Low Bid
1	DE300	DENCO HIGHWAY CONSTRUCTION CORP.	\$263,944.47	100.00%
2	MA225	MANATT'S, INC.	\$305,287.11	115.66%
3	MI295	MIDWEST COATINGS COMPANY, INC.	\$392,239.34	148.61%

CONFIDENTIAL - destroy if NOT awarded

Call Order: 204

Contract ID: 50-C050-147

Primary County: JASPER

Letting Date: August 20, 2024

Line No / Item Number				(1) DENCO HIGHWAY CONSTRUCTION CORP.		(2) MANATT'S, INC.		(3) MIDWEST COATINGS COMPANY, INC.	
Item Description									
Alt Set / Alt Member	Quantity and Units	Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount
SECTION: 0001 Roadway Items						Cat Alt Set:		Cat Alt Member:	
0010	2307-0025012	811.000	TON	24.00000	19,464.00	56.34000	45,691.74	109.11000	88,488.21
AGGREGATE, COVER - SAND									
0020	2307-0600456	14,015.000	GAL	3.69000	51,715.35	4.69000	65,730.35	5.87000	82,268.05
BINDER BITUMEN, CRS-2P									
0030	2319-1000000	5.470	MILE	10,135.00000	55,438.45	5,885.55000	31,920.46	12,739.56000	69,685.39
SLURRY LEVELING									
0040	2319-4000000	963.000	GAL	3.15000	3,033.45	5.50000	5,296.50	6.80000	6,548.40
ASPHALT EMULSION FOR SLURRY LEVELING, SLURRY WEDGE, AND SLURRY TREATMENT									
0050	2527-9263217	674.540	STA	68.00000	45,868.72	65.00000	43,855.10	78.31000	52,823.23
PAINTED PAVEMENT MARKINGS, DURABLE									
0060	2528-8445110	(1)	LS	2,500.00000	2,500.00	32,750.00000	32,750.00	13,000.00000	13,000.00
TRAFFIC CONTROL									
0070	2528-8445113	30.000	EACH	575.00000	17,250.00	575.00000	17,250.00	575.00000	17,250.00
FLAGGERS									

CONFIDENTIAL - destroy if NOT awarded

Call Order: 204
 Letting Date: August 20, 2024

Contract ID: 50-C050-147

Primary County: JASPER

Line No / Item Number				(1) DENCO HIGHWAY CONSTRUCTION CORP.		(2) MANATT'S, INC.		(3) MIDWEST COATINGS COMPANY, INC.	
Item Description				Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount
Alt Set / Alt Member	Quantity and Units	Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount	Unit Price	Ext Amount
SECTION: 0001 Roadway Items						Cat Alt Set:		Cat Alt Member:	
0080	2528-8445115	6.000	EACH	865.00000	5,190.00	865.00000	5,190.00	865.00000	5,190.00
PILOT CARS									
0090	2533-4980005	(1)	LS	10,000.00000	10,000.00	30,750.00000	30,750.00	26,000.00000	26,000.00
MOBILIZATION									
0100	2544-1001100	5.470	MILE	8,990.00000	49,175.30	2,785.55000	20,706.96	4,524.31000	24,747.98
CLEANING AND FILLING CRACKS (PAVEMENT MAINTENANCE)									
0110	2544-1003000	1,368.000	GAL	3.15000	4,309.20	4.50000	6,156.00	4.56000	6,238.08
FILLER MATERIAL (MAINTENANCE)									
Section Totals:									
				\$263,944.47		\$305,287.11		\$392,239.34	
Contract Item Totals				\$263,944.47		\$305,287.11		\$392,239.34	
Contract Time Totals									
Contract Grand Totals				\$263,944.47		\$305,287.11		\$392,239.34	

() indicates item is bid as Lump Sum

CONFIDENTIAL - destroy if NOT awarded

APPROVAL OF SUBDIVISION PLAT NAME BY JASPER COUNTY AUDITOR

Date: 8/9/2024

The Jasper County Auditor's Office has reviewed the final plat of:

ARBOR ESTATES SECOND ADDITION

Pursuant to Iowa Code §354.6(2) and §354.11(A-F), we approve of the subdivision name or title and have no objections to this subdivision plat being recorded.

Signed *Leyna K. Dutcher*
Real Estate Clerk- Jasper County, Iowa

Signed *Jerry Jung*
Auditor of Jasper County, Iowa



INDEX LEGEND	
LOCATION	OUTLOT 'ZZ', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA
REQUESTOR:	NEWTON HOUSING DEVELOPMENT CORPORATION
PROPRIETOR:	NEWTON HOUSING DEVELOPMENT CORPORATION
SURVEYOR:	EUGENE R. DREYER, P.L.S. #17535
SURVEYOR COMPANY:	BOLTON & MENK, INC.
RETURN TO:	EUGENE R. DREYER, BOLTON & MENK, INC. 1519 BALTIMORE DR., AMES, IA 50010 (515)-233-6100

FINAL PLAT

ARBOR ESTATES, SECOND ADDITION

AN OFFICIAL REPLAT OF OUTLOT 'ZZ', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA
JULY 2024

N 11TH AVENUE E - R.O.W. VARIES

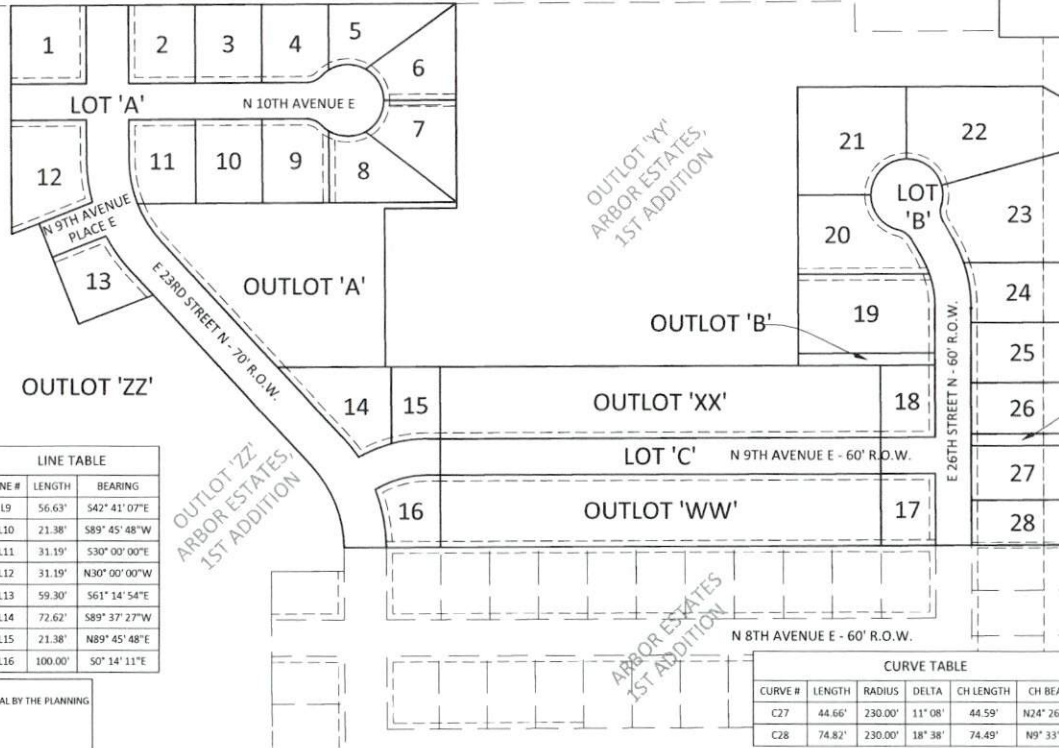
- LEGEND:**
- FOUND 1/2" REBAR WITH YELLOW PLASTIC CAP #17535
 - SET 1/2" x 24" REBAR WITH YELLOW PLASTIC CAP #17535 (UNLESS OTHERWISE NOTED)
 - (R) RECORDED DIMENSION
 - P.U.E. PUBLIC UTILITY EASEMENT

LEGAL DESCRIPTION:
OUTLOT 'ZZ', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA

- NOTES:**
- THIS SURVEY MEETS OR EXCEEDS IOWA CODE 355.
 - THIS SURVEY IS SUBJECT TO EASEMENTS APPARENT OR OF RECORD.
 - BEARINGS SHOWN ARE IOWA STATE PLANE SOUTH, US SURVEY FOOT.
 - *LOTS 'A' AND 'B' TO BE DEDICATED TO THE CITY OF NEWTON FOR STREET RIGHTS-OF-WAY. OUTLOTS 'A', 'B', & 'C' TO BE DEDICATED TO THE CITY OF NEWTON FOR PUBLIC TRAIL CONNECTIONS AND/OR GREENSPACE. OUTLOTS 'XX' AND 'WW' TO BE RESERVED FOR A FUTURE RESIDENTIAL SUBDIVISION ADDITION AND LOT 'C' TO BE RESERVED FOR AN EXTENSION OF N. 9TH AVENUE E.*
 - SIDEWALKS ARE REQUIRED FOR ALL LOTS AND MUST BE INSTALLED AT THE TIME THE LOTS ARE DEVELOPED OR AS OTHERWISE DIRECTED BY CITY COUNCIL.
 - LOTS 1-16 WILL HAVE THE FOLLOWING FRONT BUILDING SETBACK:
 - 25 FEET
 - 30 FEET
 - LOTS 17-28 WILL HAVE THE FOLLOWING FRONT BUILDING SETBACK:
 - 25 FEET
 - 30 FEET
 - TOTAL AREA OF ADDITION = 103.3 ACRES.

LINE #	LENGTH	BEARING
L1	60.00'	S21° 35' 34"E
L2	70.00'	N89° 37' 27"E
L3	72.62'	N89° 37' 27"E
L4	9.85'	N89° 45' 48"E
L5	20.00'	S0° 14' 11"E
L6	20.00'	N0° 14' 12"W
L7	20.00'	N0° 14' 12"W
L8	20.00'	N0° 14' 12"W

LINE #	LENGTH	BEARING
L9	56.63'	S42° 41' 07"E
L10	21.38'	S89° 45' 48"W
L11	31.19'	S30° 00' 00"E
L12	31.19'	N30° 00' 00"W
L13	59.30'	S61° 14' 54"E
L14	72.62'	S89° 37' 27"W
L15	21.38'	N89° 45' 48"E
L16	100.00'	S0° 14' 11"E



FOR RECORDER USE ONLY

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH LENGTH	CH BEARING
C1	28.76'	35.50'	46° 25'	27.98'	S66° 25' 07"W
C2	15.09'	59.50'	14° 32'	15.05'	S50° 28' 37"W
C3	63.29'	59.50'	60° 56'	60.34'	S88° 12' 44"W
C4	63.29'	59.50'	60° 56'	60.34'	N30° 50' 47"W
C5	63.29'	59.50'	60° 56'	60.34'	N30° 05' 42"E
C6	63.29'	59.50'	60° 56'	60.34'	S88° 57' 49"E
C7	15.09'	59.50'	14° 32'	15.05'	S51° 13' 43"E
C8	28.76'	35.50'	46° 25'	27.98'	S67° 10' 12"E
C9	69.92'	270.00'	14° 50'	69.73'	S7° 47' 41"E
C10	73.52'	200.00'	21° 04'	73.10'	N10° 54' 22"W
C11	74.17'	200.00'	21° 15'	73.75'	N32° 03' 39"W
C12	69.33'	270.00'	14° 43'	69.14'	S35° 19' 43"E
C13	147.79'	200.00'	42° 20'	144.45'	N21° 30' 58"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH LENGTH	CH BEARING
C14	98.20'	270.00'	20° 50'	97.66'	N10° 45' 58"W
C15	41.19'	270.00'	8° 44'	41.15'	N38° 18' 52"W
C16	49.39'	230.00'	12° 18'	49.30'	S68° 35' 15"W
C17	81.08'	170.00'	27° 20'	80.32'	N76° 05' 58"E
C18	60.31'	230.00'	15° 01'	60.14'	S82° 15' 05"W
C19	55.74'	170.00'	18° 47'	55.49'	S9° 37' 48"E
C20	32.57'	170.00'	10° 59'	32.52'	S24° 30' 42"E
C21	28.76'	35.50'	46° 25'	27.98'	S53° 12' 21"E
C22	79.11'	59.50'	76° 10'	73.41'	S38° 19' 27"E
C23	93.46'	59.50'	90° 00'	84.15'	S44° 45' 48"W
C24	77.53'	59.50'	74° 39'	72.16'	N52° 54' 35"W
C25	33.23'	59.50'	32° 00'	32.80'	N0° 24' 51"E
C26	28.76'	35.50'	46° 25'	27.98'	N6° 47' 39"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CH LENGTH	CH BEARING
C27	44.66'	230.00'	11° 08'	44.59'	N24° 26' 14"W
C28	74.82'	230.00'	18° 38'	74.49'	N9° 33' 20"W



CERTIFICATE OF PLANNING AND ZONING COMMISSION
THIS FINAL PLAT OF ARBOR ESTATES, SECOND ADDITION WAS RECOMMENDED FOR ACCEPTANCE AND APPROVAL BY THE PLANNING AND ZONING COMMISSION THIS _____ DAY OF _____, 2024.

CERTIFICATE OF CITY COUNCIL
THIS FINAL PLAT OF ARBOR ESTATES, SECOND ADDITION WAS ACCEPTED AND APPROVED BY THE CITY OF NEWTON CITY COUNCIL IN RESOLUTION FORM, SAID RESOLUTION BEING _____ THE CITY CLERK FURTHER CERTIFIES THAT THE SAME FINAL PLAT HERETO ATTACHED HAS BEEN ACCEPTED, APPROVED, AND FILED IN ACCORDANCE WITH THE CITY ORDINANCE OF NEWTON, IOWA AND THE CODE OF IOWA.

PASSED: _____ (DATE) APPROVED: _____ (DATE)

ATTEST: _____
EVELYN GEORGE, MAYOR KATRINA DAVIS, CITY CLERK



I hereby certify that this land surveying document was prepared by me and the related field work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

EUGENE R. DREYER, L.S.
REG. NO. 17535 DATE: _____
MY LICENSE RENEWAL DATE IS 12/31/2024
PAGES OR SHEETS COVERED BY THIS SEAL:
PAGES 1 THROUGH 5

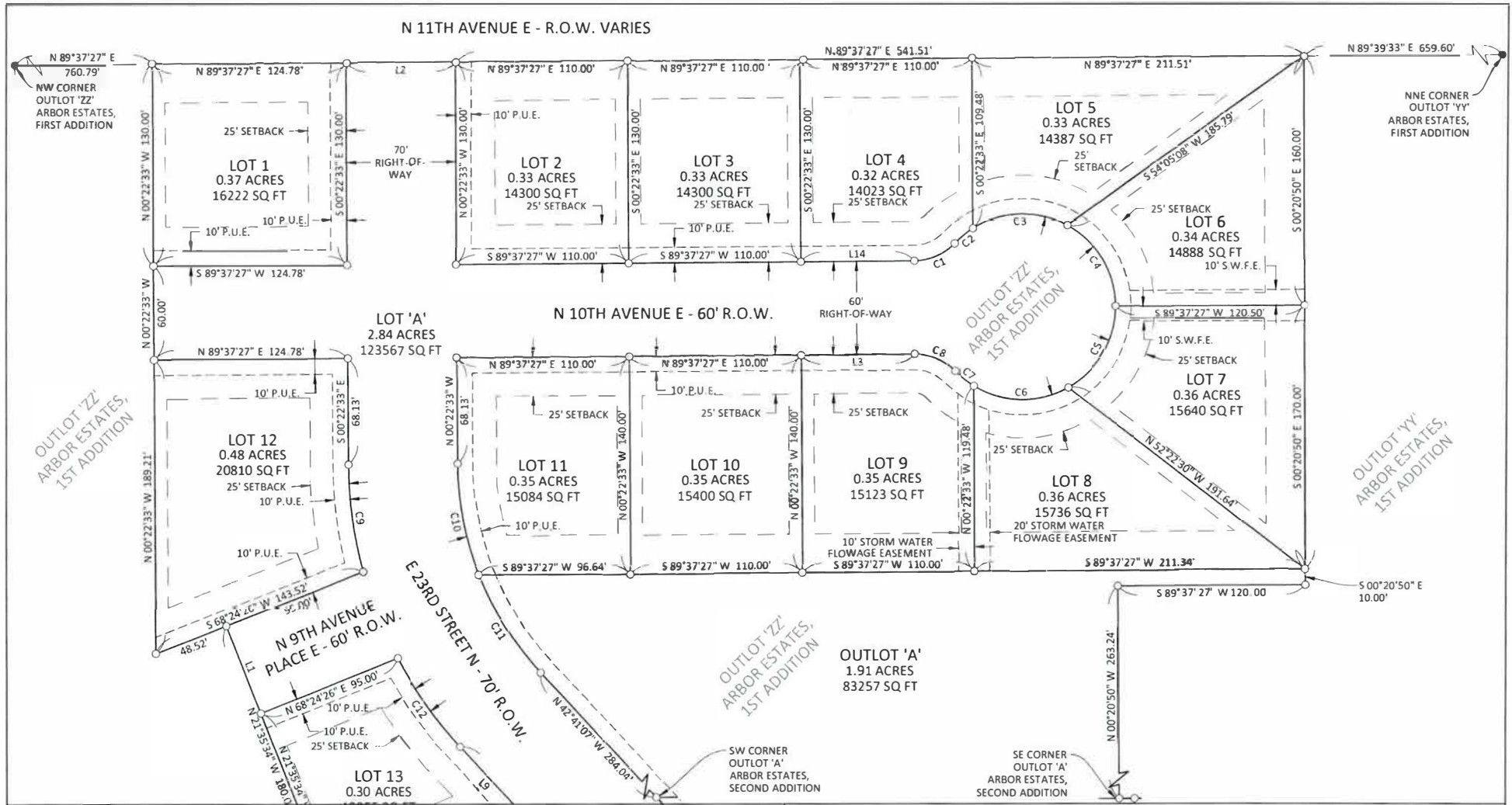


FINAL PLAT - ARBOR ESTATES, SECOND ADDITION

AN OFFICIAL REPLAT OF OUTLOT 'ZZ', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA

1519 BALTIMORE DRIVE
AMES, IOWA 50010
(515) 233-6100

SHEET
1
OF
5



FINAL PLAT - ARBOR ESTATES, SECOND ADDITION
AN OFFICIAL REPLAT OUTLOT 'Z', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA

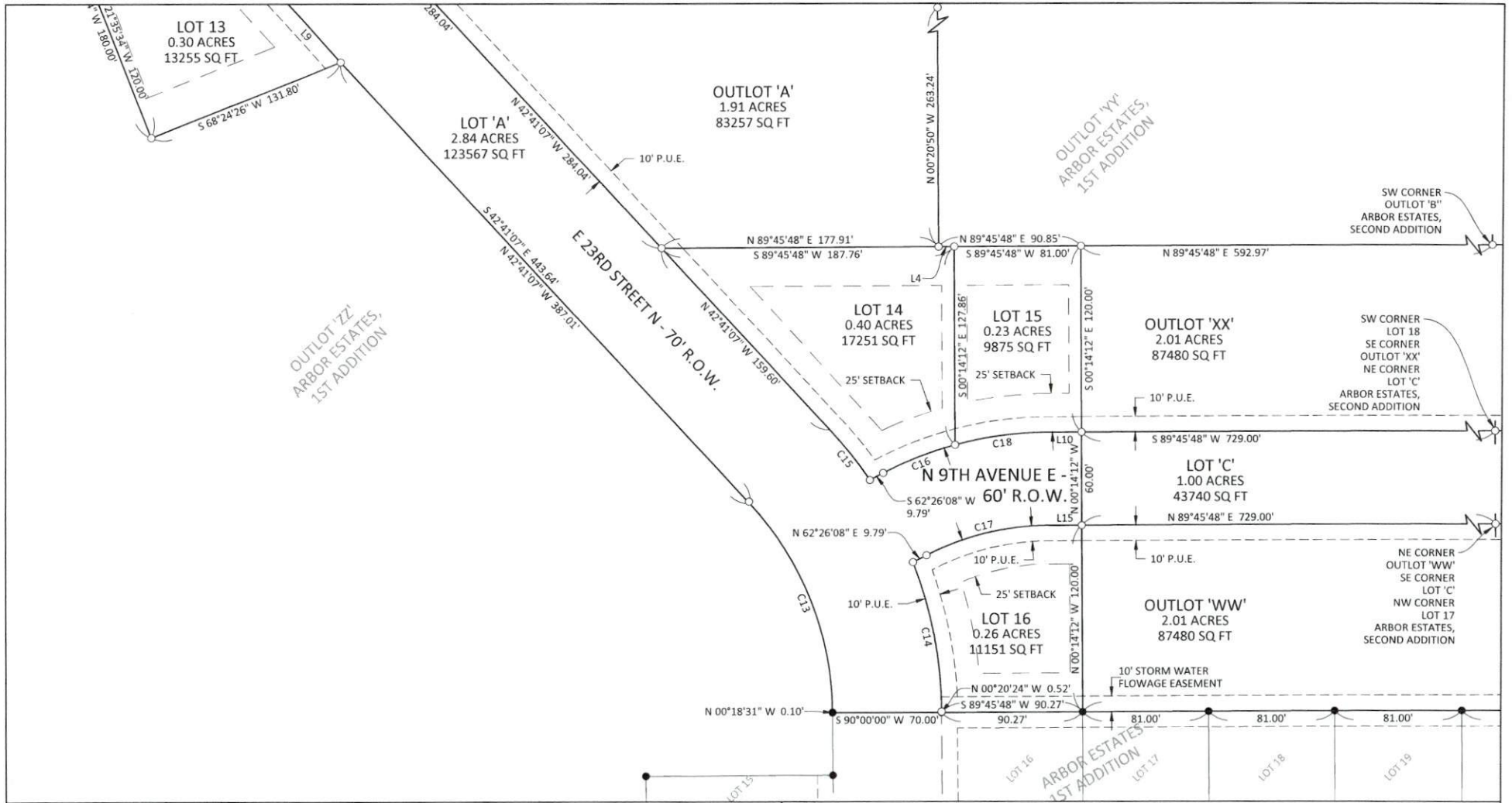


1519 BALTIMORE DRIVE
AMES, IOWA 50010
(515) 233-6100

SHEET
2 OF
5



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191987474-SCALE:BAR:ZAND:JAN:PLAT - SETBACK - FINAL PLAT ARBOR ESTATES SECOND ADDITION:7/15/2018 2:08 PM



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HRZ SCALE FEET

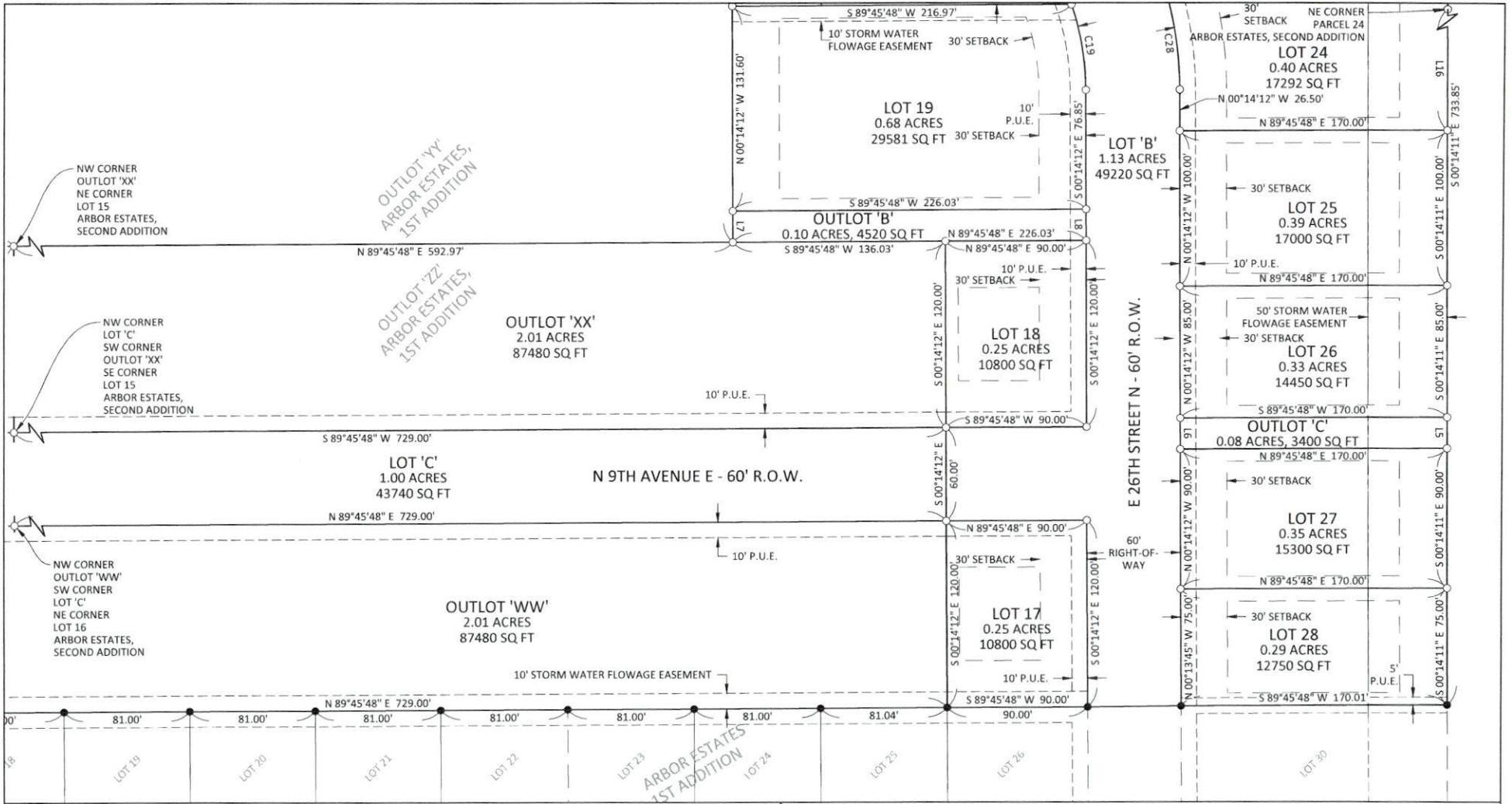
FINAL PLAT - ARBOR ESTATES, SECOND ADDITION
 AN OFFICIAL REPLAT OF OUTLOT 'ZZ', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA

BOLTON & MENK

1519 BALTIMORE DRIVE
 AMES, IOWA 50010
 (515) 233-6100

SHEET
3
OF
5

JOB NUMBER: 041.127449



FINAL PLAT - ARBOR ESTATES, SECOND ADDITION
 AN OFFICIAL REPLAT OF OUTLOT 'ZZ', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA

BOLTON & MENK

1519 BALTIMORE DRIVE
 AMES, IOWA 50010
 (515) 233-6100

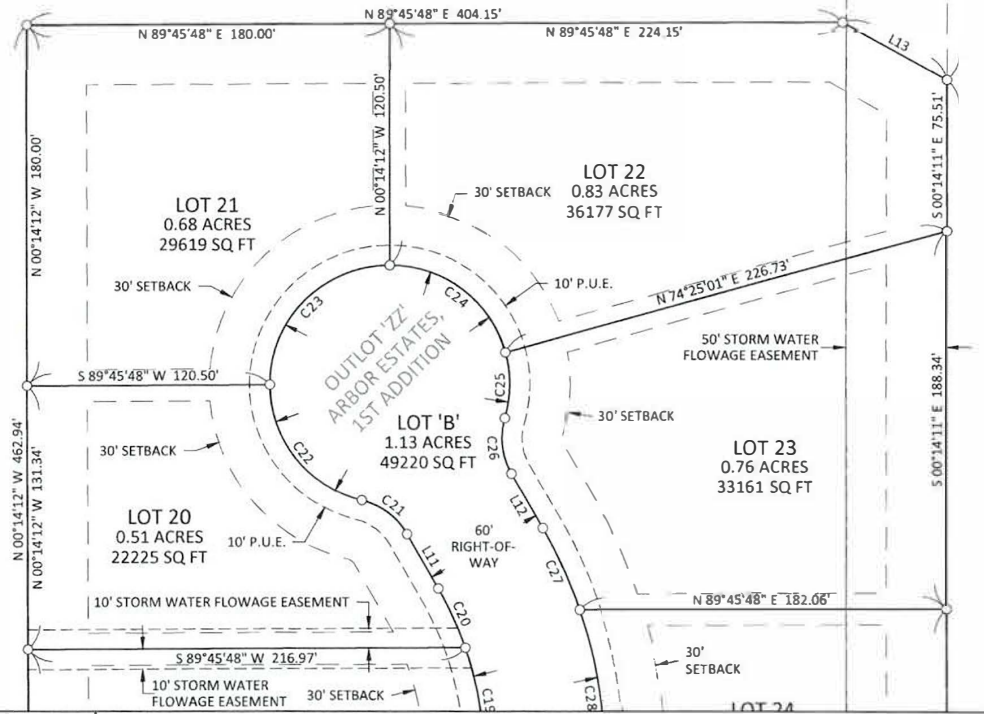
SHEET
 4
 OF
 5

N 11TH AVENUE E - R.O.W. VARIES

N 89°39'33" E 659.60'

NW CORNER
OUTLOT 'YY'
NE CORNER
LOT 6
ARBOR ESTATES,
SECOND ADDITION

OUTLOT 'YY'
ARBOR ESTATES,
1ST ADDITION



FINAL PLAT - ARBOR ESTATES, SECOND ADDITION
 AN OFFICIAL REPLAT OF OUTLOT 'ZZ', ARBOR ESTATES, FIRST ADDITION, JASPER COUNTY, IOWA



1519 BALTIMORE DRIVE
 AMES, IOWA 50010
 (515) 233-6100

SHEET
 5
 OF
 5

WHEN RECORDED, RETURN TO: Newton Community Development, 303 W. 4th St. N., Ste. 501, Newton, IA 50208

Preparer Information: Brian Dunkelberger, Sr. City Planner, City of Newton – 303 W. 4th St. N., Ste. 501, Newton, IA 50208 (641) 792-6622

ARBOR ESTATES, SECOND ADDITION – ADDRESS ASSIGNMENTS
 (all proposed address assignments are subject to change)

<u>LOT #:</u>	<u>ADDRESS:</u>
1	2266 N. 10 th Ave. E. / 1035 E. 23 rd St. N.
2	2302 N. 10 th Ave. E. / 1032 E. 23 rd St. N.
3	2322 N. 10 th Ave. E.
4	2344 N. 10 th Ave. E.
5	2366 N. 10 th Ave. E.
6	2388 N. 10 th Ave. E.
7	2389 N. 10 th Ave. E.
8	2367 N. 10 th Ave. E.
9	2345 N. 10 th Ave. E.
10	2323 N. 10 th Ave. E.
11	2303 N. 10 th Ave. E. / 990 E. 23 rd St. N.
12	999 E. 23 rd St. N. / 2262 N. 9 th Ave. Pl. E. / 2260 N. 10 th Ave. E.
13	969 E. 23 rd St. N. / 2275 N. 9 th Ave. Pl. E.
14	906 E. 23 rd St. N. / 2300 N. 9 th Ave. E.

<u>LOT #:</u>	<u>ADDRESS:</u>
15	2312 N. 9 th Ave. E.
16	2305 N. 9 th Ave. E. / 848 E. 23 rd St. N.
17	2517 N. 9 th Ave. E. / 855 E. 26 th St. N.
18	2516 N. 9 th Ave. E. / 909 E. 26 th St. N.
19	933 E. 26 th St. N.
20	1011 E. 26 th St. N.
21	1025 E. 26 th St. N.
22	1020 E. 26 th St. N.
23	1010 E. 26 th St. N.
24	964 E. 26 th St. N.
25	920 E. 26 th St. N.
26	900 E. 26 th St. N.
27	858 E. 26 th St. N.
28	836 E. 26 th St. N.


APPROVAL OF SUBDIVISION PLAT NAME BY JASPER COUNTY AUDITOR

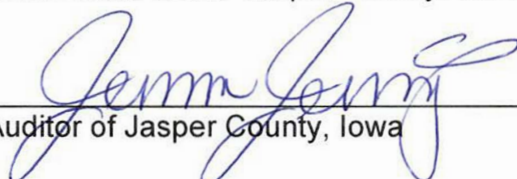
Date: 8/19/2024

The Jasper County Auditor's Office has reviewed the final plat of:

PRAIRIE VIEW SUBDIVISION

Pursuant to Iowa Code §354.6(2) and §354.11(A-F), we approve of the subdivision name or title and have no objections to this subdivision plat being recorded.

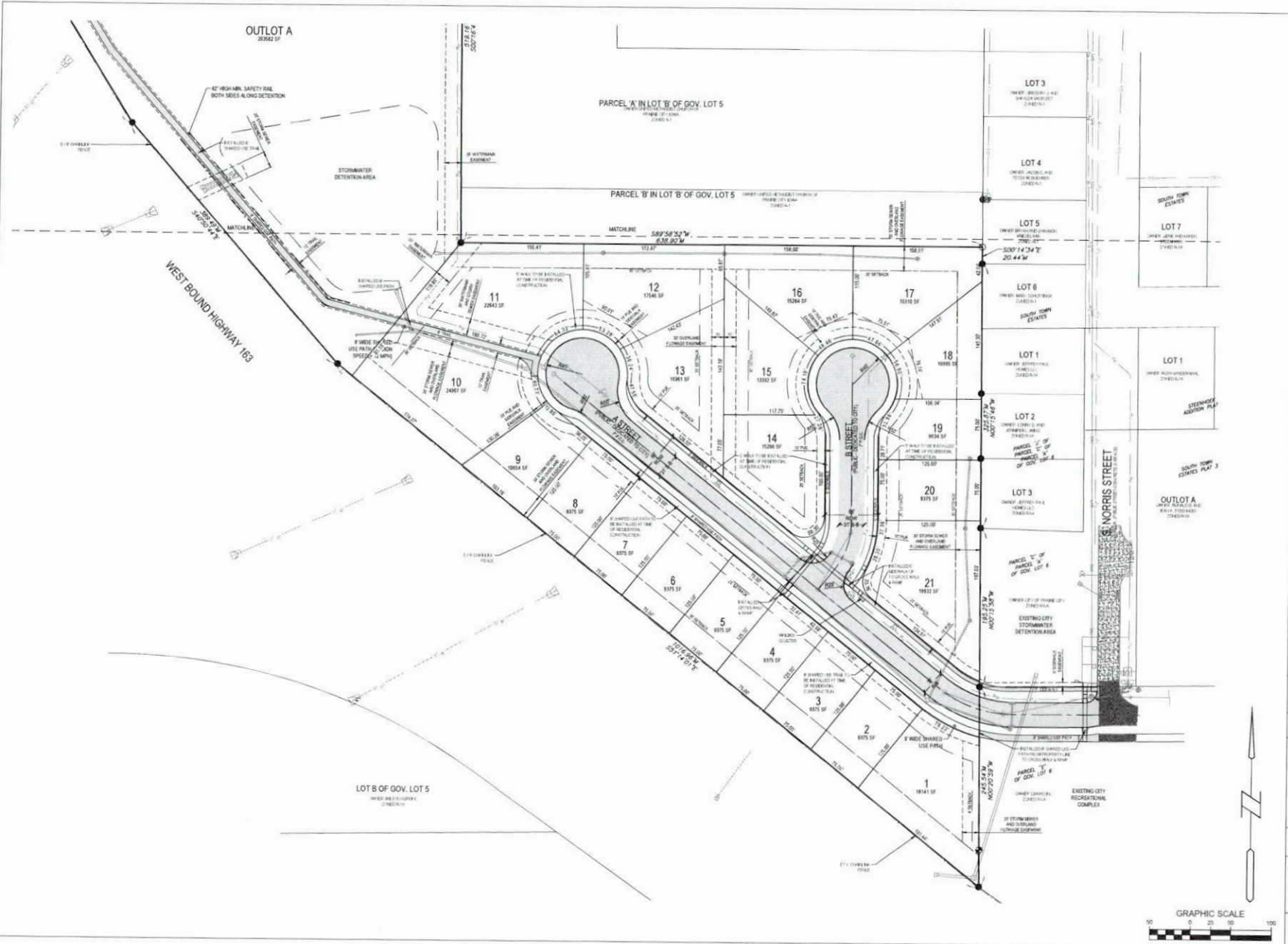
Signed 
Real Estate Clerk- Jasper County, Iowa

Signed 
Auditor of Jasper County, Iowa



PRELIMINARY - NOT FOR CONSTRUCTION

8/10/2024 4:47:53 PM L:\LAND PROJECTS\230532\230532 PRAIRIE CITY SUBDIVISION\WORK LAYOUT.DWG



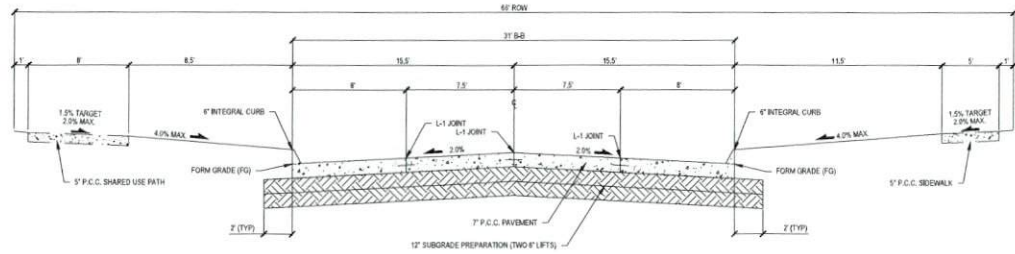
3501 South Street, Urbandale, IA 50322 Ph: 515-276-0487

PRELIMINARY PLAT
PRAIRIE VIEW
 SOUTH NORRIS STREET
 PRAIRIE CITY, IOWA

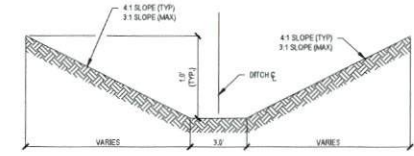
REFERENCE NUMBER:	
DRAWN BY:	
REVISION DATE:	04/04/2024
	06/05/2024 CHECK
	07/10/2024 CITY
	08/13/2024 CITY
PROJECT NUMBER:	230532
SHEET NAME:	LAYOUT PLAN
SHEET NUMBER:	C2.1

PRELIMINARY- NOT FOR CONSTRUCTION

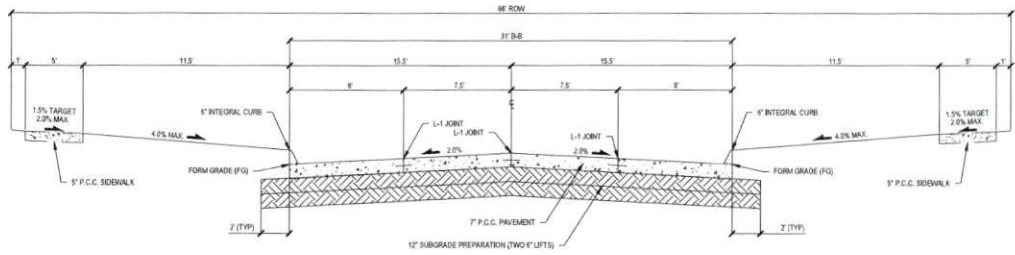
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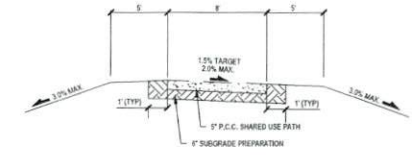
TYPICAL SECTION - 31' B-B
A STREET



TYPICAL SWALE SECTION



TYPICAL SECTION - 31' B-B
B STREET



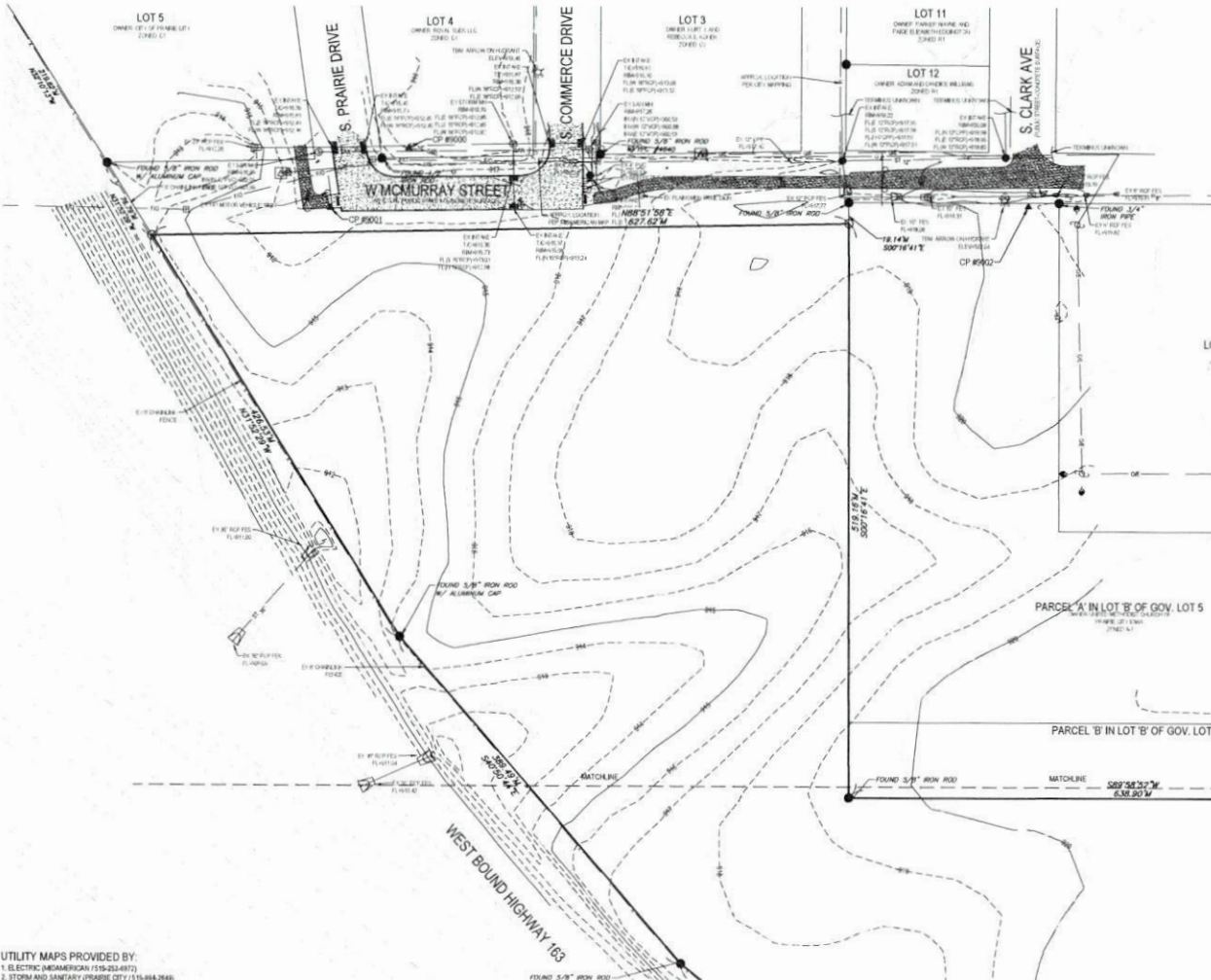
TYPICAL SHARED USE PATH SECTION
BEYOND PUBLIC STREET



PRELIMINARY PLAT
PRAIRIE VIEW
 SOUTH NORRIS STREET
 PRAIRIE CITY, IOWA

REFERENCE NUMBER:	
DRAWN BY:	
REVISION DATE:	04/04/2024
	04/05/2024 CHECK
	07/10/2024 CIPY
	08/13/2024 CIPY
PROJECT NUMBER:	230532
SHEET NAME:	TYPICAL SECTIONS & DETAILS
SHEET NUMBER:	C0.2

PRAIRIE VIEW SITE SURVEY



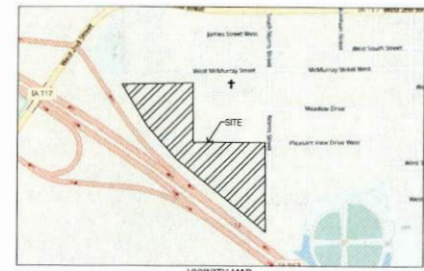
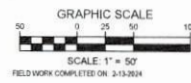
UTILITY MAPS PROVIDED BY:
 1. ELECTRIC (IOWA AMERICAN / 515-252-4972)
 2. STORM AND SANITARY (PRAIRIE CITY / 515-944-2649)
 3. FIBER OPTIC (LUMEN / 915-543-1417)
 4. GAS (IOWA AMERICAN / 515-252-4972)
 5. WATER (PRAIRIE CITY / 515-944-2649)



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC RECORDS, AND IF ANY PROVIDED BY OTHERS, SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

NOTES:
 1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM IOWA COUNTY ASSESSORS WEB PAGE.
 2. PARENTHESES () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES.

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PROPERTY DESCRIPTION:
 (SUBJECT TO DEED BOOK 84, PAGE 1159)
 DEEDS NOT ON RECORD: GENERAL LEGAL AS FOLLOWS:
 PART OF GOVERNMENT LOT 8 AND PART OF LOT 9
 GOVERNMENT LOT 5, 1/2 AC NORTH A EAST OF HIGHWAY 163
 EX PARCELS A AND B ALL IN SECTION 3 TOWNSHIP 7N
 NORTH, RANGE 21 WEST, ASPER COUNTY, IOWA.
 SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS
 AND RESTRICTIONS OF RECORD.

AREA:
 471.73 SQUARE FEET - 14.23 ACRES

OWNER:
 LARRY PLATE TRUST
 1001 BROADWAY
 PELLA, IOWA 50249

PREPARED FOR:
 MITCH SEIBERLING
 406 W 2ND STREET
 PRAIRIE CITY, IOWA
 50249

ZONING:
 INFORMATION OBTAINED FROM CITY MAPS
 A-1 (AGRICULTURAL)
 FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF
 PRAIRIE CITY AT 515-944-2649

SITE CONTROL AND BENCHMARKS:

BASED ON BEARING OBTAINED FROM GPS OBSERVATIONS
 DATUM = NAD 83, ELEVATION SOUTH
 BENCHMARK DATUM = NAVD83, GEOID 18
 POINT #002, 5/8" IRON ROD WITH PINK PLASTIC CAP
 NORTHING = 581,255.22
 EASTING = 1,761,477.89
 ELEVATION = 519.93
 DESCRIPTION APPROX. 8 FEET NORTH OF NORTH RIGHT OF
 WAY LINE OF S.V. WEST McMURRAY STREET, APPROX. NW
 CORNER OF SITE
 POINT #004, 5/8" IRON ROD WITH PINK PLASTIC CAP
 NORTHING = 579,819.36
 EASTING = 1,751,844.48
 ELEVATION = 524.75
 DESCRIPTION: SOUTH-WESTERLY 27 FEET OF SE CORNER
 GOVERNMENT LOT 5 AND NORTHEASTERLY 44 FEET OF
 SOUTHEAST PROPERTY CORNER OF SUBJECT SITE

ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BOC BOOTH
- CONC CONCRETE
- S SEEDS DISTANCE
- EX EXISTING
- ENCL ENCL COURSE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- CPC CRANSE PLASTIC CAP
- P PLATTED DISTANCE
- PRSE PRASE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PREA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- RTM RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

LEGEND:

- S— SANITARY SEWER
- ST— STORM SEWER
- W— WATER LINE
- G— GAS LINE
- UE— UNDERGROUND ELECTRIC
- OE— OVERHEAD ELECTRIC
- TEL— TELEPHONE LINE
- FO— FIBER OPTIC
- CATV— CABLE TV
- SM STORM MANHOLE
- CB CURB INTAKE
- SI SURFACE INTAKE
- FE FLARED END SECTION
- RD ROOF DRAIN
- TS TYPICAL
- SM SANITARY MANHOLE
- EH ELEANOUT
- FX FIRE HYDRANT
- SP SPRINKLER
- BCV BRIGATION CONTROL VALVE
- WM WATER MANHOLE
- WELL WELL
- WU WATER UNLVE
- WYO WATER SHUT OFF
- YH YARD HYDRANT
- FL FLAGPOLE
- EM ELECTRIC MANHOLE
- EM ELECTRIC METER
- ER ELECTRIC REER
- EV ELECTRIC VAULT
- TP TRANSFORMER POLE
- LP LIGHT POLE
- EA ELECTRIC JUNCTION BOX
- EP ELECTRIC PANEL
- TR TRANSFORMER
- GL GROUND LIGHT
- GV GUY WIRE
- EH ELECTRIC HANDHOLE
- GM GAS METER
- GV GAS VALVE
- AC AIR CONDITIONING UNIT
- TR TELEPHONE REER
- EV TELEPHONE VAULT
- SM TELEPHONE MANHOLE
- TR TRAFFIC SIGNAL MANHOLE
- FO FIBER OPTIC MANHOLE
- FR FIBER OPTIC REER
- EV ELECTRIC VAULT
- CB CABLE TV REER
- SM SIGN
- BOL BOLLARDS
- PS DENOTES NUMBER OF PARKING STALLS
- PC PROPERTY CORNER - FOUND AS NOTED
- PC PROPERTY CORNER - PLACED 5/8" IRON ROD WITH YELLOW PLASTIC CAP # 1475 OR AS NOTED
- SC SECTION CORNER - FOUND AS NOTED
- SC SITE CONTROL POINT - MONUMENT AS NOTED



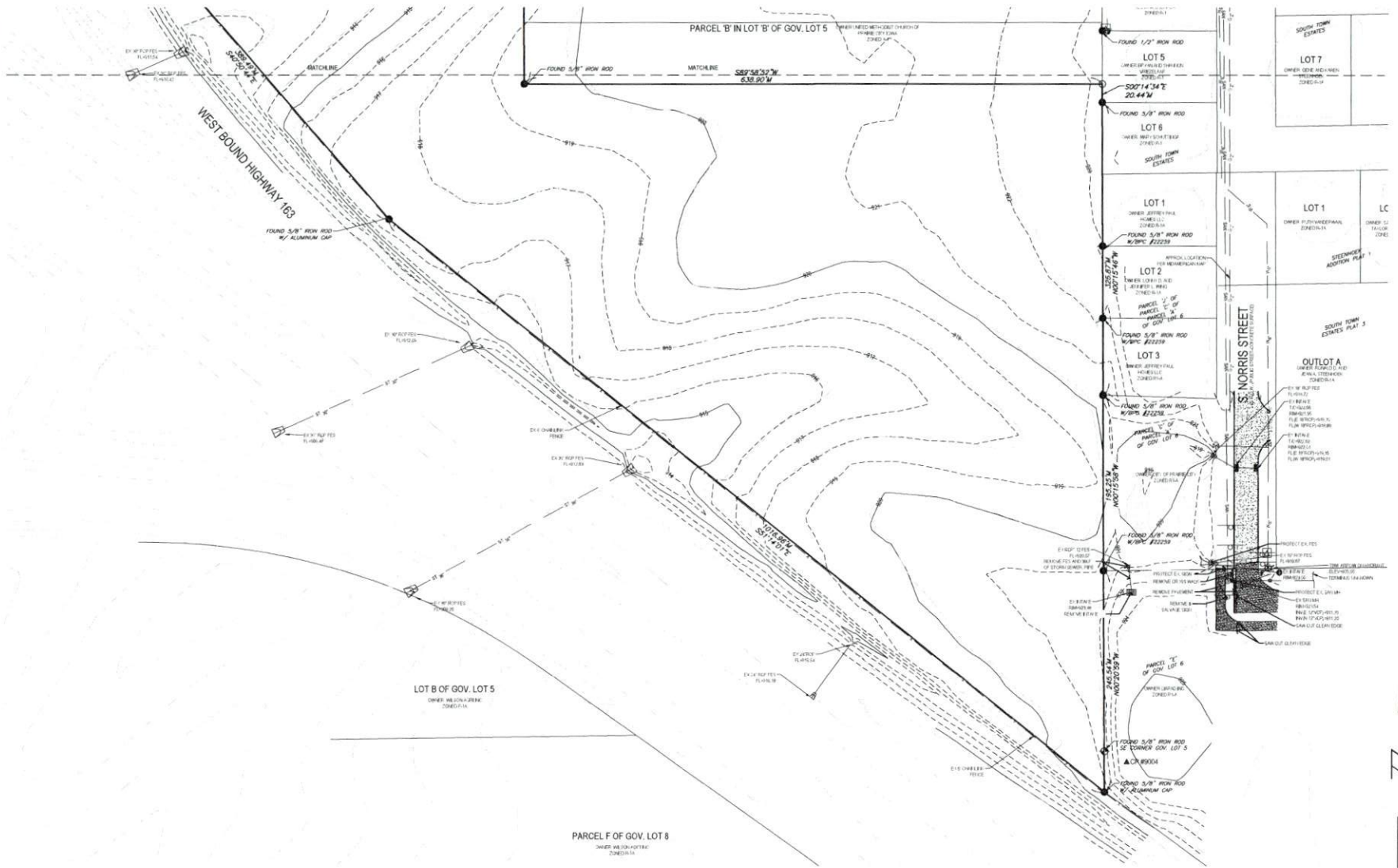
I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
 SIGNED: PREPARED BY: DATE: _____
 LARRY D. HYLER, P.L.S. 14775
 LICENSE RENEWAL DATE: DEC. 31, 2024
 PAGES OR SHEETS COVERED BY THIS SEAL: C0.1-C0.2



SITE SURVEY
 PRAIRIE VIEW
 SOUTH OF W 2ND STREET EAST OF HIGHWAY 163
 PRAIRIE CITY, IOWA

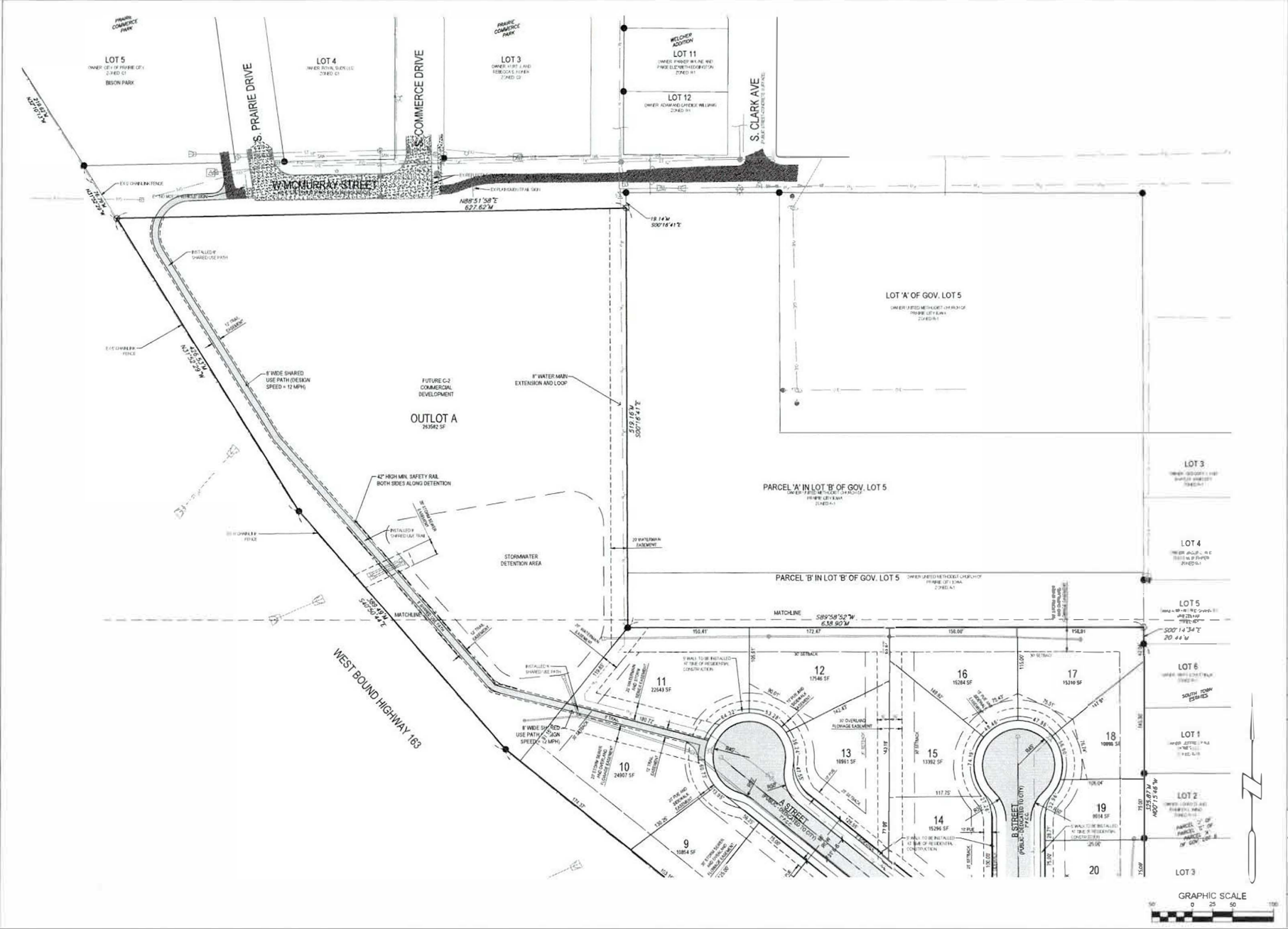
REFERENCE NUMBER:	
DRAWN BY:	JPN
REVISION DATE:	
PROJECT NUMBER:	230532
SHEET NAME:	SITE SURVEY & DEMO
SHEET NUMBER:	C1.1

PRAIRIE VIEW SITE SURVEY



PRELIMINARY- NOT FOR CONSTRUCTION

W:\2015\11\11\LAND PROJECTS\20150515 PRAIRIE CITY 250535\DWG\LAYOUT.DWG

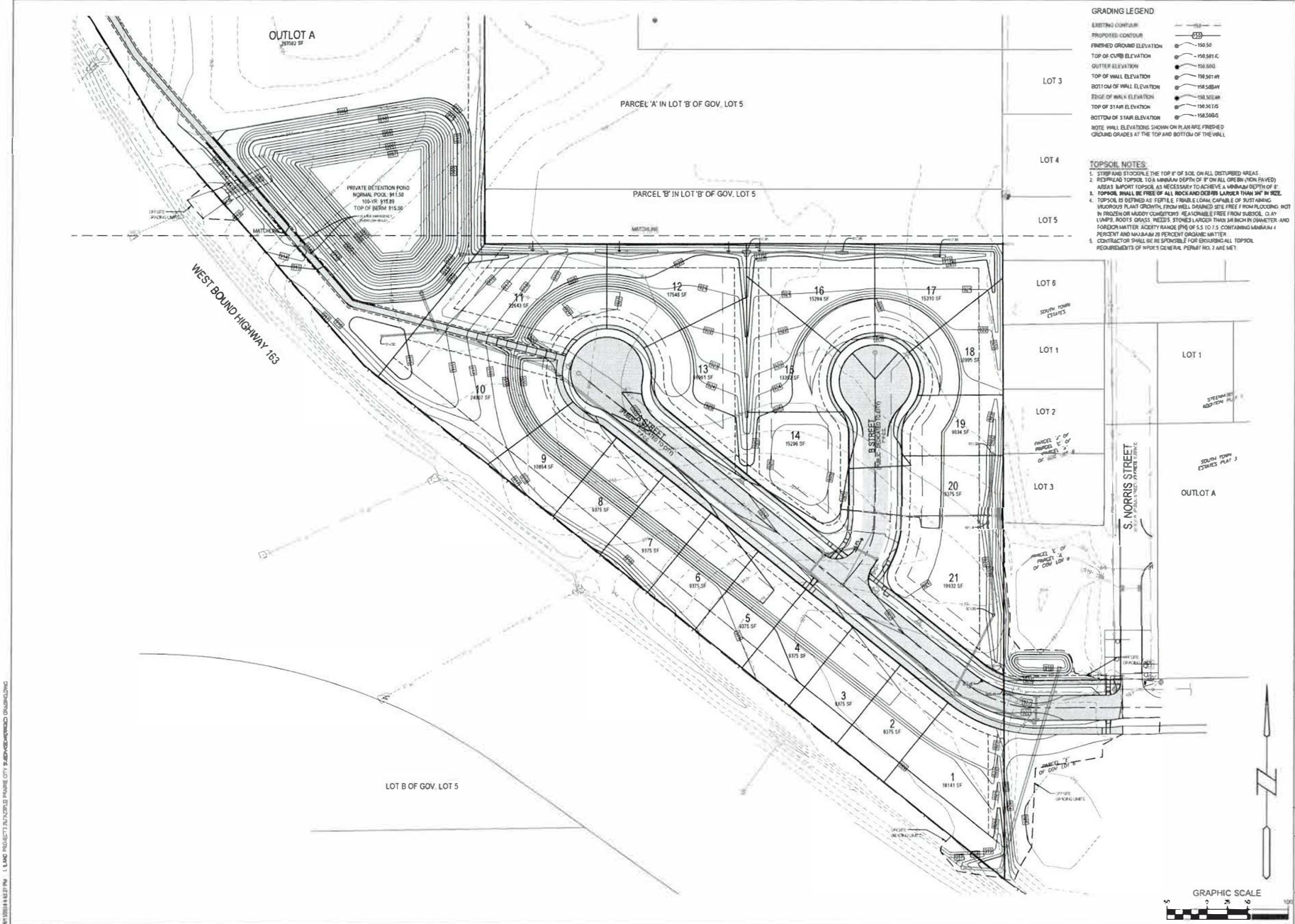


PRELIMINARY PLAT
PRAIRIE VIEW STREET
 SOUTH NORRIS STREET
 PRAIRIE CITY, IOWA

REFERENCE NUMBER	
DESIGNED BY	
REVISION DATE	04/24/2015 06/09/2015 - CHECK 07/17/2015 - 4 CITY 08/11/2015 - 4 CITY
PROJECT NUMBER	230532
SHEET NAME	LAYOUT PLAN
SHEET NUMBER	C2.2



PRELIMINARY- NOT FOR CONSTRUCTION



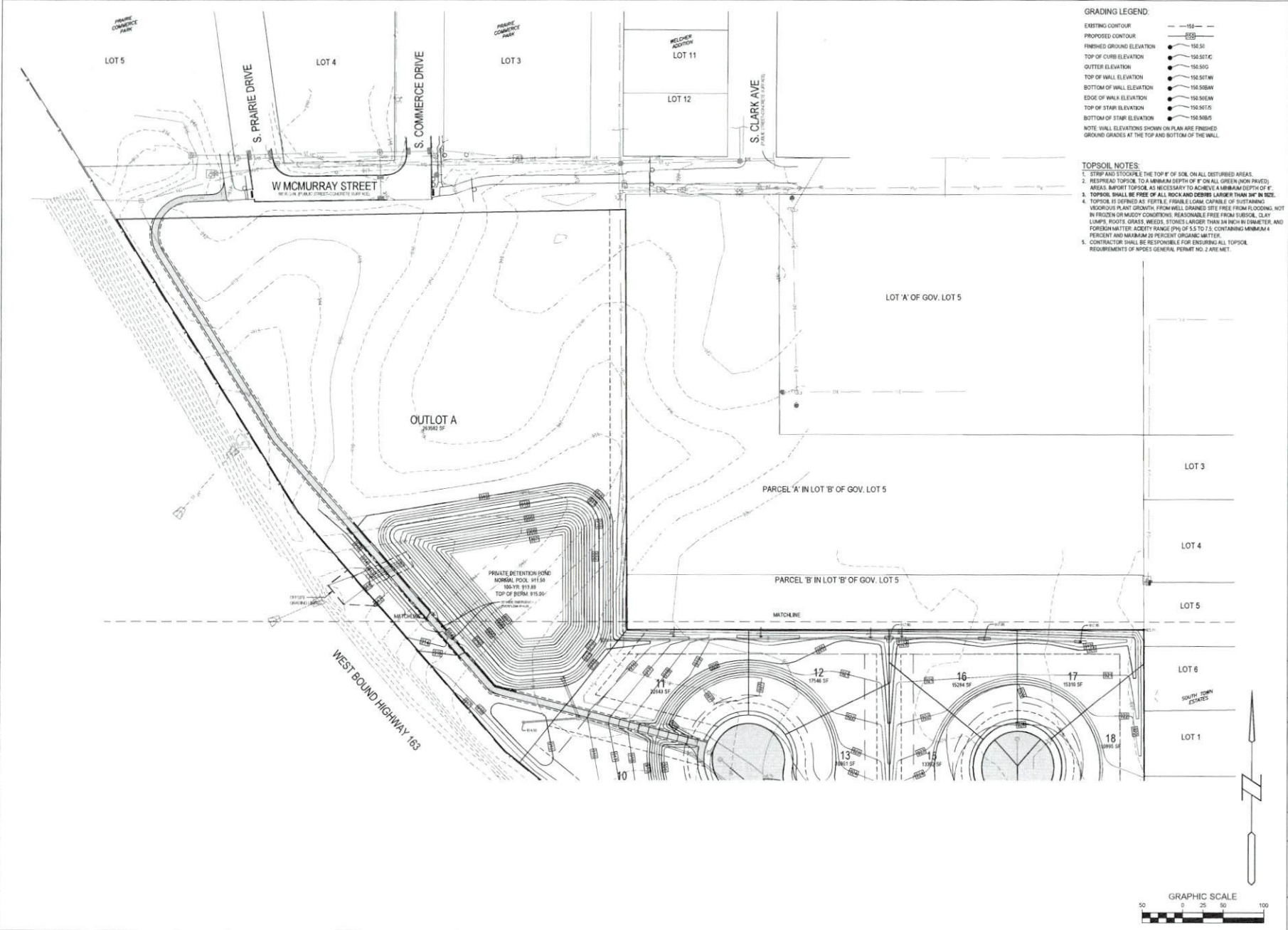
PRELIMINARY PLAT
 PRAIRIE VIEW
 SOUTH MORRIS STREET
 PRAIRIE CITY, IOWA

REFERENCE NUMBER	
DRAWN BY	
REVISION DATE	04/02/24 05/05/24 - CHECK 07/15/24 - CITY 08/15/24 - CITY
PROJECT NUMBER	230532
SHEET NAME	GRADING PLAN
SHEET NUMBER	C3.1



PRELIMINARY- NOT FOR CONSTRUCTION

WYBICKI & ASSOCIATES, INC. LAND PROJECTS 240 SOUTH PRAIRIE CITY, IOWA 50242-1000

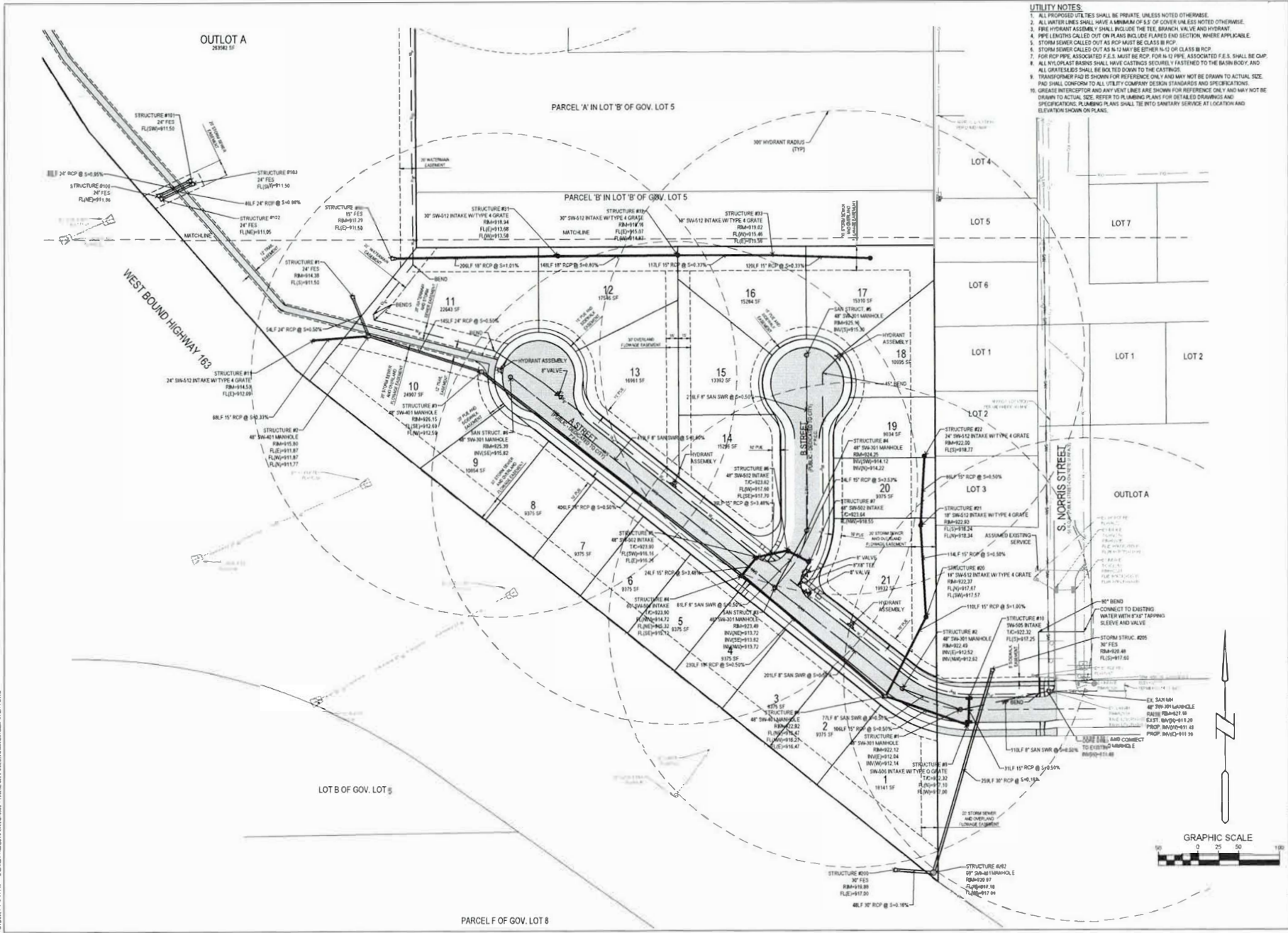


PRELIMINARY PLAN
 PRAIRIE VIEW
 SOUTH NORRIS STREET
 PRAIRIE CITY, IOWA

REFERENCE NUMBER:	
DRAWN BY:	
REVISION DATE:	04/04/2024
CHECK DATE:	04/05/2024
CITY:	07/10/2024
CITY:	08/13/2024
PROJECT NUMBER:	230532
SHEET NAME:	GRADING PLAN
SHEET NUMBER:	C3.2

PRELIMINARY - NOT FOR CONSTRUCTION

W:\2024\14174 - LANDPROJECTS\230532\PRVIE VIEW\DWG\DWG\UTILITY.PWG



- UTILITY NOTES**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS B RCP.
 6. STORM SEWER CALLED OUT AS 16-18 MAY BE EITHER 16-13 OR CLASS B RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP, FOR 14-12 PIPE, ASSOCIATED F.E.S. SHALL BE DUP.
 8. ALL NYLOLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATE LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 10. GRATES, INTERCEPTOR AND ANY FURTHER LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.

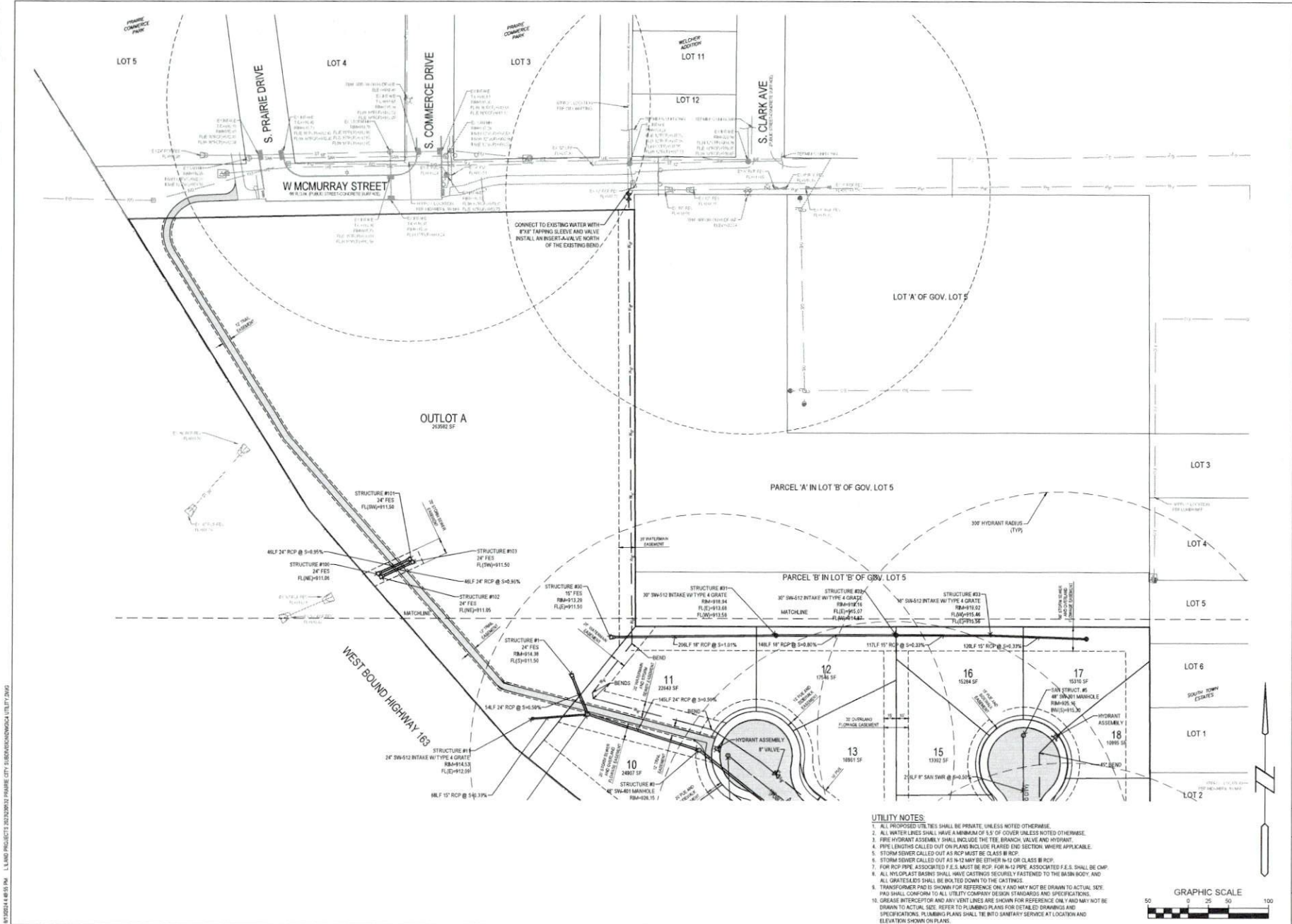


BISHOP ENGINEERING +
3501 Todd Street, Lubbock, TX 79402-2767

PRELIMINARY PLAN
PRAIRIE VIEW
SOUTH NORRIS STREET
PRAIRIE CITY, IOWA

REFERENCE NUMBER:
DRAWN BY:
REVISION DATE:
DWGNO: 230532-4
DATE: 08/09/24
PROJECT: 230532-4
PROJECT NUMBER: 230532
SHEET NAME: UTILITY PLAN
SHEET NUMBER: C4.1

PRELIMINARY- NOT FOR CONSTRUCTION



- UTILITY NOTES**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 55' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TREE BRANCH VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLANGED END SECTIONS WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS 12 IN-12 MAY BE EITHER 12-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR 12-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. ALL NYLON LAST BARS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 10. GRADE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAIL DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.



3501 154th Street, Urbandale, IA 50322 Ph: 515-278-0487

PRELIMINARY PLAT
PRAIRIE VIEW
 SOUTH NORRIS STREET
 PRAIRIE CITY, IOWA

REFERENCE NUMBER:	
DRAWN BY:	
REVISION DATE:	04/04/2024
	06/05/2024 CHECK
	07/11/2024 CITY
	08/13/2024 CITY
PROJECT NUMBER:	230532
SHEET NAME:	UTILITY PLAN
SHEET NUMBER:	C4.2

11:58:04 AM 11/18/2024 PROJECTS/230532/PRAIRIE CITY SUBURBAN/ENGINEERING/UTILITY PLAN

Tuesday, August 20, 2024, the Jasper County Board of Supervisors met in regular session at 9:30 a.m. with Supervisors Talsma, Stevenson and Cupples present and accounted for; Chairman Talsma presiding.

Motion by Cupples, seconded by Stevenson to open a Public Hearing for Linda Riggs on behalf of the Edgar and Caroline Rasmussen Irrevocable Trust, requesting a rezone for parcel #12.02.200.018 from Agricultural (A) to Rural Residential (RR1).

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to close the Public Hearing.

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to waive the 2nd and 3rd readings.

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to approve the rezone request for Linda Riggs on behalf of the Edgar and Caroline Rasmussen Irrevocable Trust for parcel #12.02.200.018 from Agricultural (A) to Rural Residential (RR1).

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to open a Public Hearing for Derek Webb, requesting a rezone for parcel #06.31.100.018 to Agricultural (A).

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Stevenson, seconded by Cupples to close the Public Hearing.

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to waive the 2nd and 3rd readings.

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to approve the rezone request for Derek Webb on parcel #06.31.100.018 to Agricultural (A).

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Stevenson, seconded by Cupples to open a Public Hearing for Derek Webb, requesting a rezone for parcel #06.31.100.019 to Rural Residential Large Lot (RR5).

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to close the Public Hearing.

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to waive the 2nd and 3rd readings.

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Cupples, seconded by Stevenson to approve the rezone request for Derek Webb on parcel #06.31.100.019 to Rural Residential Large Lot (RR5).

YEA: CUPPLES, STEVENSON, TALSMAS

Motion by Stevenson, seconded by Cupples to open a Public Hearing on a proposal to enter into a Development Agreement with Hilltop Estates, L.L.C.

YEA: CUPPLES, STEVENSON, TALSMA

Motion by Cupples, seconded by Stevenson to close the Public Hearing.

YEA: CUPPLES, STEVENSON, TALSMA

Motion by Cupples, seconded by Stevenson to adopt Resolution 24-79 approving and authorizing execution of a Development Agreement by and between Jasper County and Hilltop Estates, L.L.C.

YEA: CUPPLES, STEVENSON, TALSMA

A complete copy of the resolution is on file in the Office of the Jasper County Auditor.

Motion by Cupples, seconded by Stevenson to approve the hiring of a full-time Jailer at the Sheriff's Office, Anthony Shepard, effective August 24, 2024. A corrected Resolution will be placed on the agenda for August 27, 2024.

YEA: CUPPLES, STEVENSON, TALSMA

Motion by Stevenson, seconded by Cupples to approve a 3-year contract with Zencity Technologies in the amount of \$30,600.00.

YEA: CUPPLES, STEVENSON, TALSMA

Motion by Stevenson, seconded by Cupples to adopt Resolution 24-80 vacating a portion of right-of-way along F-36 at W. 32nd St. N.

YEA: CUPPLES, STEVENSON, TALSMA

A complete copy of the resolution is on file in the Office of the Jasper County Auditor.

Motion by Stevenson, seconded by Cupples to approve a letter of intent to participate in a Countywide EMS Affiliation.

YEA: CUPPLES, STEVENSON, TALSMA

Motion by Cupples, seconded by Stevenson to adopt Resolution 24-81 calling for a special election on the issuance of not to exceed \$6,400,000.00 General Obligation bonds or Capital loan notes.

YEA: CUPPLES, STEVENSON, TALSMA

A complete copy of the resolution is on file in the Office of the Jasper County Auditor.

Motion by Stevenson, seconded by Cupples to approve the Board of Supervisors minutes from August 13, 2024.

YEA: CUPPLES, STEVENSON, TALSMA

There were no Board Appointments.

There was no Work Session.

Motion by Cupples, seconded by Stevenson to adjourn the Tuesday, August 20, 2024, meeting of the Jasper County Board of Supervisors.

YEA: CUPPLES, STEVENSON, TALSMA